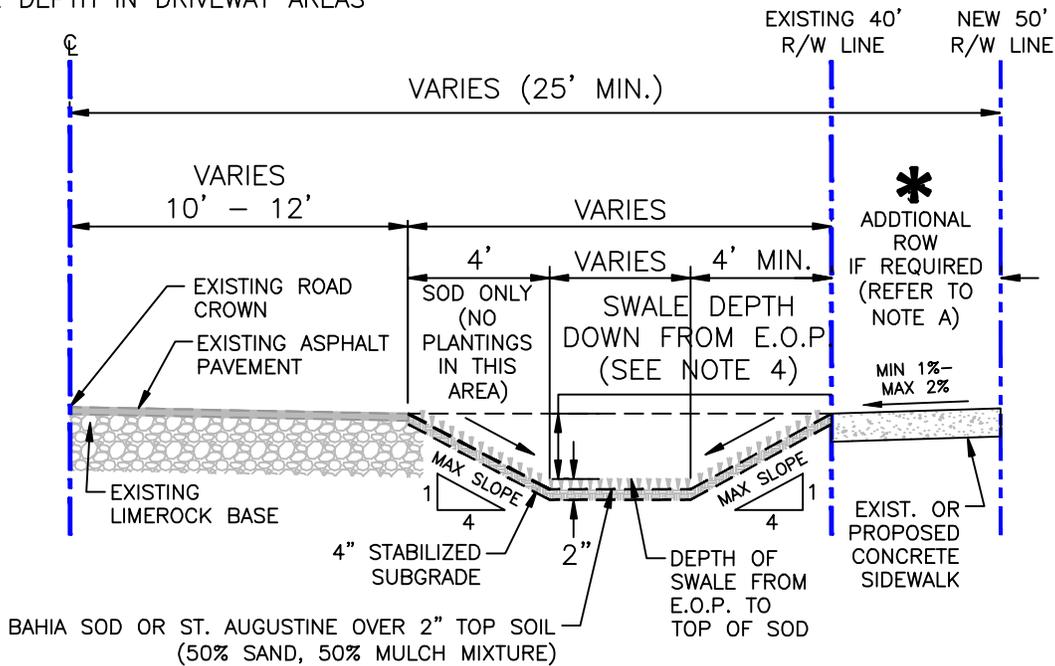


CONSTRUCTION NOTES:

1. SWALE SHALL EXTEND ENTIRE LENGTH OF PROPERTY FROM PROPERTY LINE TO PROPERTY LINE.
2. ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS, DENSITY TESTS MAY BE REQUIRED BY THE CITY INSPECTOR FOR VERIFICATION & APPROVAL.
3. ENGINEERING GROUGH SWALE INSPECTION SHALL BE CALLED, INSPECTED AND PASSED PRIOR TO PLACEMENT OF CONCRETE OR ANY LANDSCAPING OR TREE INSTALLATION.
4. FINAL SWALE DEPTHS SHALL MEET THE FOLLOWING AFTER INSTALLATION OF ANY SOD OR PAVERS (INCLUDING HEADER CURBS IF APPLICABLE)
 DEPTHS ARE MEASURED FROM EXISTING EDGE OF PAVEMENT (E.O.P.):
 - A. 40' ROW SECTION – 6" MINIMUM DEPTH IN NON PAVED & LANDSCAPED OR SODDED AREAS
 - B. 50' ROW SECTION – 8" MINIMUM DEPTH IN NON PAVED & LANDSCAPED OR SODDED AREAS
 - C. REFER TO STANDARD DRIVEWAY DETAIL SHEETS FOR SWALE DEPTH IN DRIVEWAY AREAS
5. MINIMUM CLEAR ZONE SHALL BE PROVIDED FROM EDGE OF PAVEMENT.
 - A. 4' MINIMUM CLEAR ZONE FOR PLANTINGS OR SMALL GROUND COVER (SHALL NOT EXCEED 30" IN FULL GROWN HEIGHT)
 - B. 6' MINIMUM CLEAR ZONE FOR TREES (SIGHT TRIANGLE REQUIRED ON PLANS)
6. CENTER BOTTOM OF SWALE BETWEEN EDGE OF PAVEMENT AND NEW RIGHT OF WAY LINE IF NO SIDEWALK EXISTS (SPECIAL S/W WAIVER REQUIRED BY CITY ENGINEER).
7. SIDEWALKS SHALL BE CONCRETE, CONFORM TO CITY ENGINEERING STD DETAIL C1.3R, AND RUN CONTINUOUSLY THROUGH ALL DRIVEWAYS.
8. SITE PREPARATION AND EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES AFTER INITIAL GROUGH INSPECTION MAY BE REQUIRED.



SPECIAL NOTE:

- * A. RIGHT OF WAY SECTION REQUIRED TO BE A MINIMUM OF 25' FROM CENTER LINE OF ROADWAY. WHEN MINIMUM RIGHT OF WAY SECTION IS LESS THAN 25' ABUTTING PROPERTY, AN ADDITIONAL 5' RIGHT OF WAY EASEMENT IS REQUIRED. THIS EASEMENT SHALL BE RECORDED AT BROWARD COUNTY RECORDS, PRIOR TO CLOSE OUT OF PERMIT. INSTRUCTIONS AND CITY STANDARD EASEMENT DOCUMENTS CAN BE LOCATED AT: <http://www.fortlauderdale.gov/home/showdocument?id=1558>

R1-2/2016



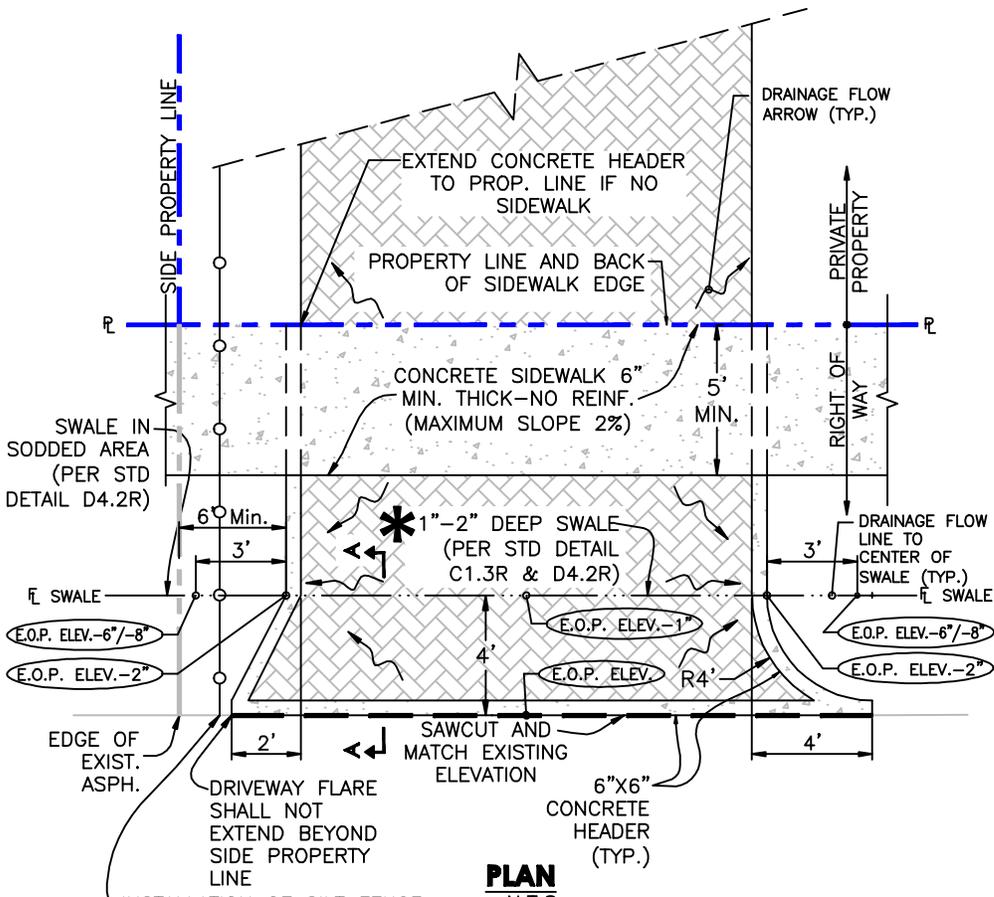
CITY OF FORT LAUDERDALE
 DEPT. OF SUSTAINABLE DEVELOPMENT
 RIGHT OF WAY ENGINEERING
 & CONSTRUCTION

TYPICAL SWALE CROSS SECTION
 CONSTRUCTION IN CITY ROW

ISSUED:
 2/2016
 DETAIL TITLE:
 D4.2R

GENERAL NOTES:

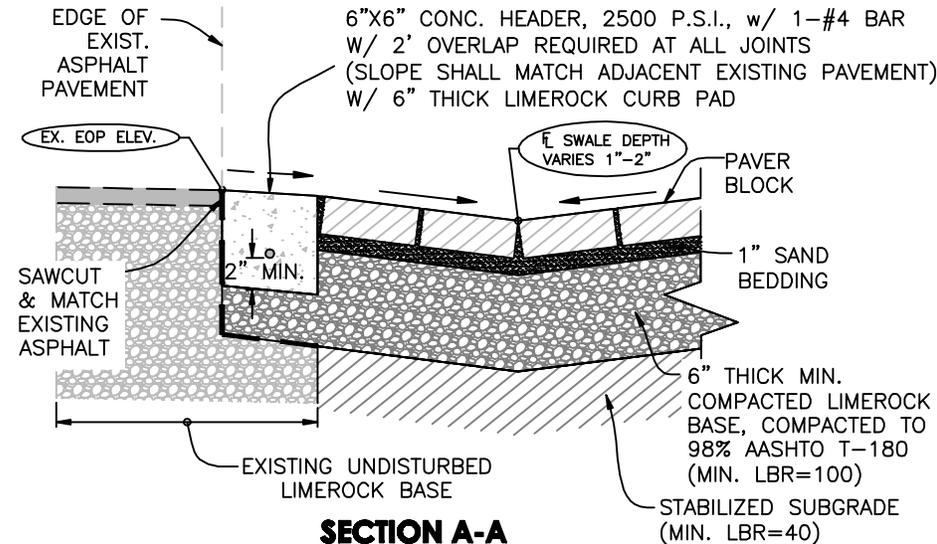
- 2' WIDE FLARE OR OPTIONAL 4' RADIUS
- UTILITY LOCATES SHALL BE CALLED AND DOCUMENTED PRIOR TO FIRST INSPECTION.
- IF NEW DRIVEWAY LIMITS COVER EXISTING SEWER LATERAL:
 - NEW CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE WITH NEW TRAFFIC RATED BOX OR
 - EXISTING SEWER LATERAL SHALL BE RELOCATED WITH NEW CLEAN OUT INSTALLED AT PROPERTY LINE
- SIDEWALKS SHALL BE CONCRETE, CONFORM TO CITY RIGHT OF WAY CONSTRUCTION & ENGINEERING STD DETAIL C2.1, AND RUN CONTINUOUSLY THROUGH DECORATIVE DRIVEWAYS.
- CONCRETE PAVERS SHALL CONFORM TO ASTM C-936. CLAY PAVERS SHALL BE HARD-BURNED AND SHALL CONFORM TO ASTM C-902. THE MINIMUM PAVER THICKNESS SHALL BE $\geq 1\frac{1}{8}$ ". DEVIATION FROM STANDARD THICKNESS REQUIRES SHOP DRAWING APPROVAL & ADDITIONAL 6" THICK CONCRETE BASE (MIN. 3000 P.S.I.) REQUIRED.
- BEDDING SAND SHALL BE GRANULAR AND FINELY GRADED. LIMEROCK BASE SHALL BE BROUGHT UP TO GRADE BEFORE BEDDING SAND IS INSTALLED. BEDDING SAND SHALL NOT BE USED TO COMPENSATE FOR AN UNEVEN LIMEROCK BASE. PAVER GRADES SHALL BE SLOPED TO ENSURE PROPER DRAINAGE TO SWALE IN CONFORMANCE WITH STD DETAIL C1.3R & D4.2R.
- PAVER JOINTS SHALL BE $\frac{1}{8}$ " WIDE, WITH A $\frac{1}{16}$ " TOLERANCE. ALL JOINTS SHALL BE SWEEPED WITH DRY SAND UP TO THE PAVER SURFACE AND COMPACTED WITH A VIBRATORY PLATE COMPACTOR.
- ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER OR INSPECTOR. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS, & DENSITY TESTS MAY BE REQUIRED BY THE CITY INSPECTOR FOR VERIFICATION.
- FOR DRIVEWAYS CONSTRUCTED WITHIN 6' OF PROPERTY LINE, CONSTRUCTION SHALL BE IN ACCORDANCE WITH DETAIL DW-P-1ALT AND DRIVEWAY SHALL SLOPE AWAY FROM PROPERTY LINE.



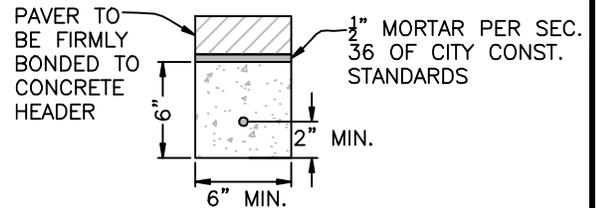
PLAN
N.T.S.

*** NOTE: FINAL DRIVEWAY ELEVATION AT SWALE MEASURED TO TOP OF PAVER (NOT HEADER CURB) FOR ALT. CURB DETAIL**

INSTALLATION OF SILT FENCE ALONG PROP. LINE TO E.O.P. & FILTER FABRIC OVER RECEIVING CATCH BASINS PRIOR TO ANY EARTH MOVING (ROUGH ENG./GMITIGATION INSPECTION)



SECTION A-A
N.T.S.



ALTERNATE HEADER CURB DETAIL
N.T.S.

R1-2/2016



**CITY OF FORT LAUDERDALE
DEPT. OF SUSTAINABLE DEVELOPMENT**

**RIGHT OF WAY ENGINEERING
& CONSTRUCTION**

PAVER DRIVEWAY DETAIL

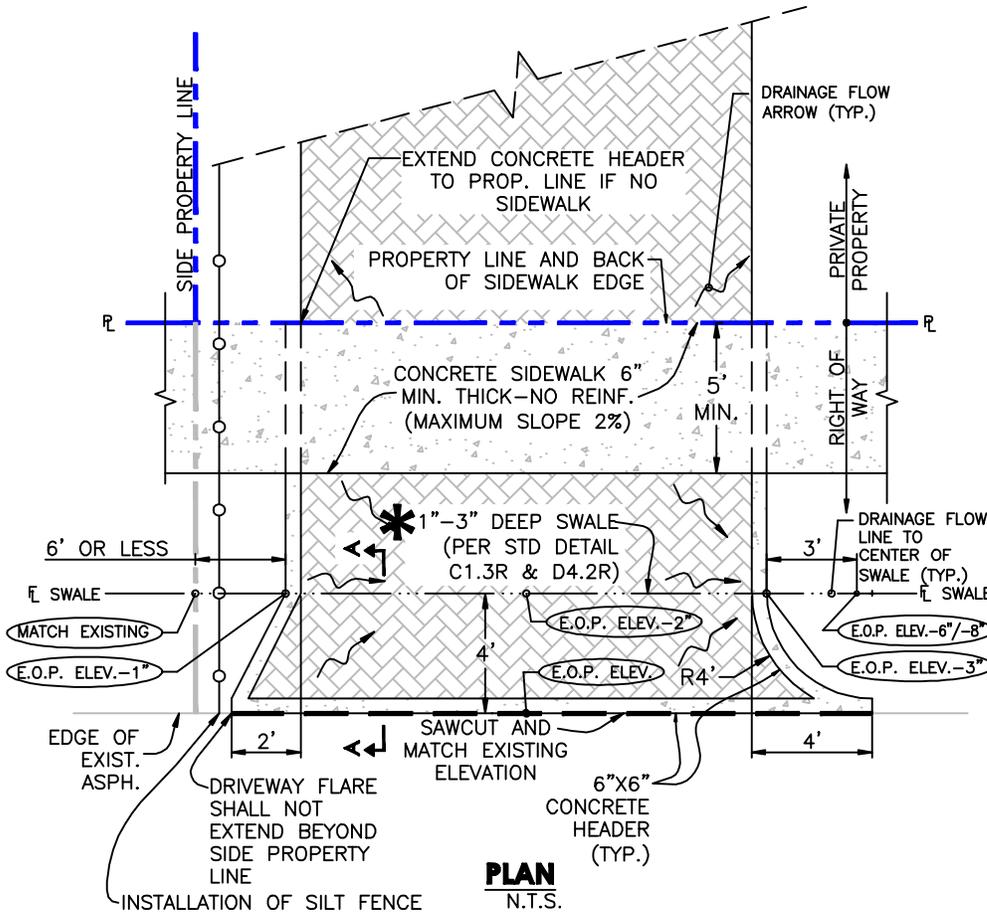
CONSTRUCTION IN CITY ROW

**ISSUED:
1/2016**

**DETAIL TITLE:
DW-P-1**

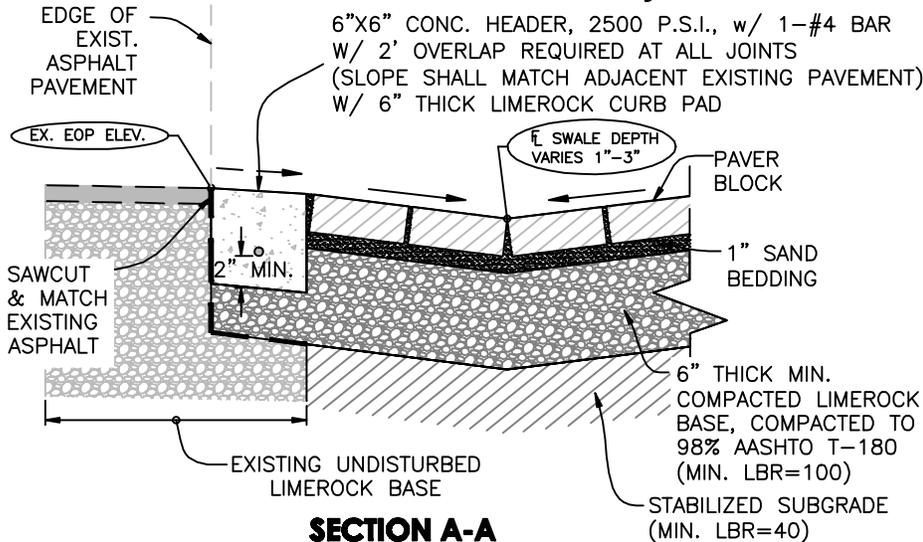
GENERAL NOTES:

- 2' WIDE FLARE OR OPTIONAL 4' RADIUS
- UTILITY LOCATES SHALL BE CALLED AND DOCUMENTED PRIOR TO FIRST INSPECTION.
- IF NEW DRIVEWAY LIMITS COVER EXISTING SEWER LATERAL:
 - NEW CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE WITH NEW TRAFFIC RATED BOX OR
 - EXISTING SEWER LATERAL SHALL BE RELOCATED WITH NEW CLEAN OUT INSTALLED AT PROPERTY LINE
- SIDEWALKS SHALL BE CONCRETE, CONFORM TO CITY RIGHT OF WAY CONSTRUCTION & ENGINEERING STD DETAIL C2.1, AND RUN CONTINUOUSLY THROUGH DECORATIVE DRIVEWAYS.
- CONCRETE PAVERS SHALL CONFORM TO ASTM C-936. CLAY PAVERS SHALL BE HARD-BURNED AND SHALL CONFORM TO ASTM C-902. THE MINIMUM PAVER THICKNESS SHALL BE $\geq 1\frac{1}{8}$ ". DEVIATION FROM STANDARD THICKNESS REQUIRES SHOP DRAWING APPROVAL & ADDITIONAL 6" THICK CONCRETE BASE (MIN. 3000 P.S.I.) REQUIRED.
- BEDDING SAND SHALL BE GRANULAR AND FINELY GRADED. LIMEROCK BASE SHALL BE BROUGHT UP TO GRADE BEFORE BEDDING SAND IS INSTALLED. BEDDING SAND SHALL NOT BE USED TO COMPENSATE FOR AN UNEVEN LIMEROCK BASE. PAVER GRADES SHALL BE SLOPED TO ENSURE PROPER DRAINAGE TO SWALE IN CONFORMANCE WITH STD DETAIL C1.3R & D4.2R.
- PAVER JOINTS SHALL BE $\frac{1}{8}$ " WIDE, WITH A $\frac{1}{16}$ " TOLERANCE. ALL JOINTS SHALL BE SWEEPED WITH DRY SAND UP TO THE PAVER SURFACE AND COMPACTED WITH A VIBRATORY PLATE COMPACTOR.
- ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER OR INSPECTOR. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS, & DENSITY TESTS MAY BE REQUIRED BY THE CITY INSPECTOR FOR VERIFICATION.
- FOR DRIVEWAYS CONSTRUCTED THAT PROVIDE MORE THAN 6' FROM PROPERTY LINE, CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD DRIVEWAY PAVER DETAIL DW-P-1.

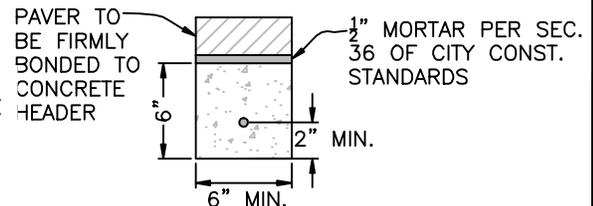


PLAN
N.T.S.

*** NOTE: FINAL DRIVEWAY ELEVATION AT SWALE MEASURED TO TOP OF PAVER (NOT HEADER CURB) FOR ALT. CURB DETAIL**



SECTION A-A
N.T.S.



ALTERNATE HEADER CURB DETAIL
N.T.S.

R1-2/2016



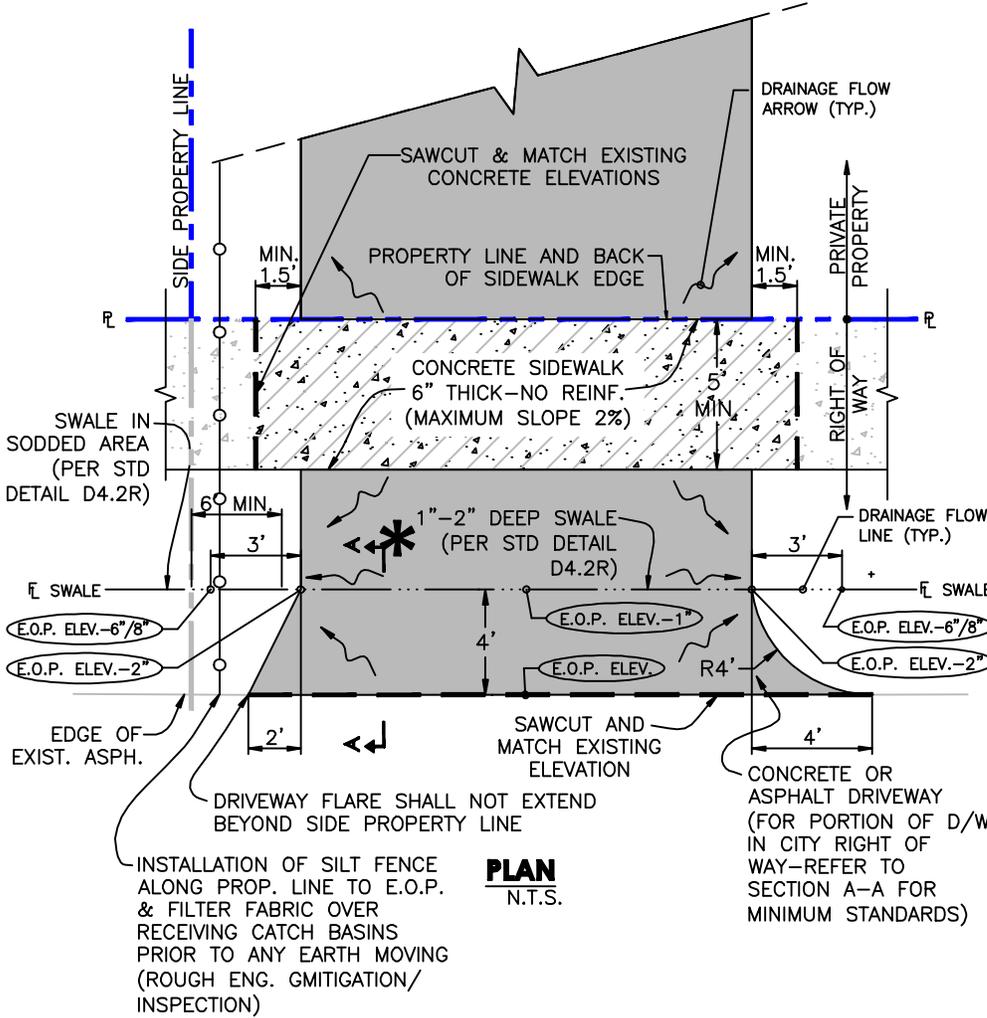
CITY OF FORT LAUDERDALE
DEPT. OF SUSTAINABLE DEVELOPMENT
RIGHT OF WAY ENGINEERING
& CONSTRUCTION

ALTERNATE PAVER DRIVEWAY DETAIL
CONSTRUCTION IN CITY ROW

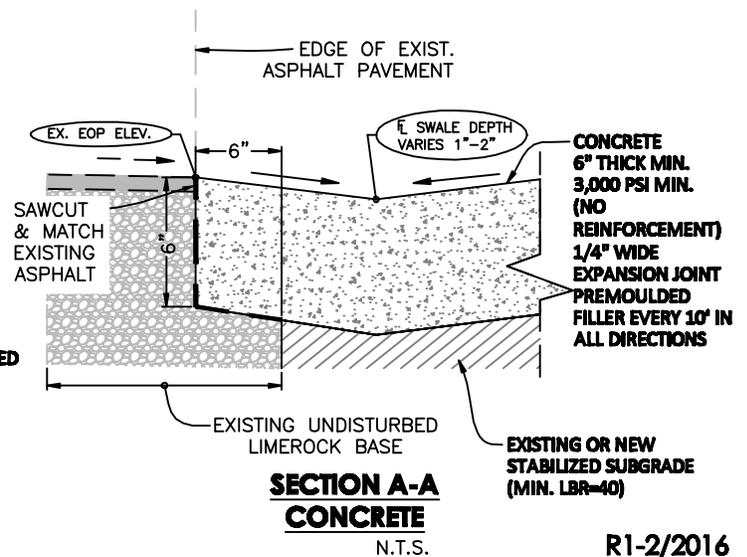
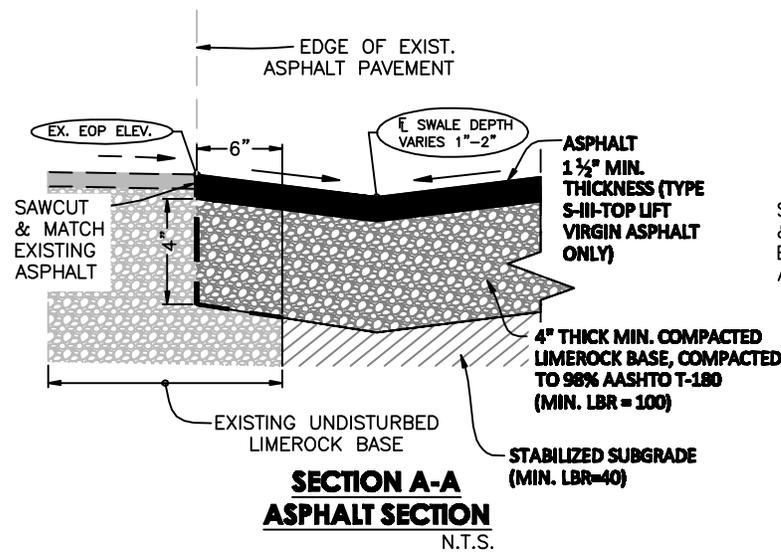
ISSUED:
1/2016
DETAIL TITLE:
DW-P-1ALT

GENERAL NOTES:

1. 2' WIDE FLARE OR OPTIONAL 4' RADIUS
2. UTILITY LOCATES SHALL BE CALLED AND DOCUMENTED PRIOR TO FIRST INSPECTION.
3. IF NEW DRIVEWAY LIMITS COVER EXISTING SEWER LATERAL:
 - A. NEW CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE WITH NEW TRAFFIC RATED BOX OR
 - B. EXISTING SEWER LATERAL SHALL BE RELOCATED WITH NEW CLEAN OUT INSTALLED AT PROPERTY LINE
4. SIDEWALKS SHALL BE CONCRETE, CONFORM TO CITY RIGHT OF WAY CONSTRUCTION & ENGINEERING STD DETAIL C2.1, AND RUN CONTINUOUSLY THROUGH ALL DRIVEWAYS.
5. PAVEMENT GRADES SHALL BE SLOPED TO ENSURE PROPER DRAINAGE TO SWALE IN CONFORMANCE WITH STD DETAIL D4.2R.
6. ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER OR INSPECTOR. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS, & DENSITY TESTS MAY BE REQUIRED BY THE CITY INSPECTOR FOR VERIFICATION.
7. FOR DRIVEWAYS CONSTRUCTED WITHIN 6' OF PROPERTY LINE, CONSTRUCTION SHALL BE IN ACCORDANCE WITH DETAIL C1.3R-ALT AND DRIVEWAY SHALL SLOPE AWAY FROM PROPERTY LINE.



*** NOTE: FINAL DRIVEWAY ELEVATION AT SWALE MEASURED TO TOP OF PAVER (NOT HEADER CURB) FOR ALT. CURB DETAIL.**



R1-2/2016



CITY OF FORT LAUDERDALE
DEPT. OF SUSTAINABLE DEVELOPMENT
RIGHT OF WAY ENGINEERING
& CONSTRUCTION

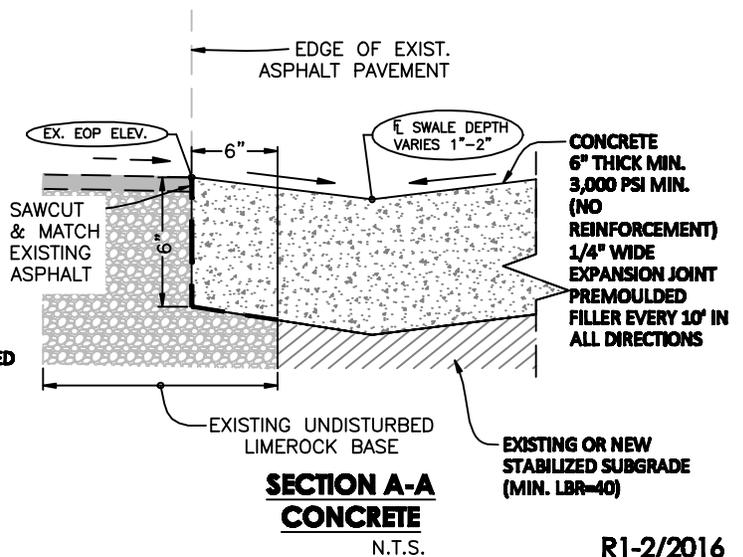
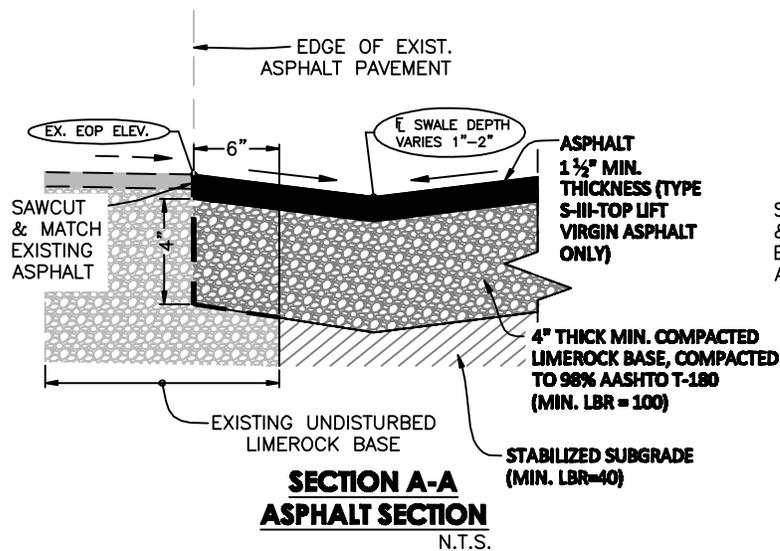
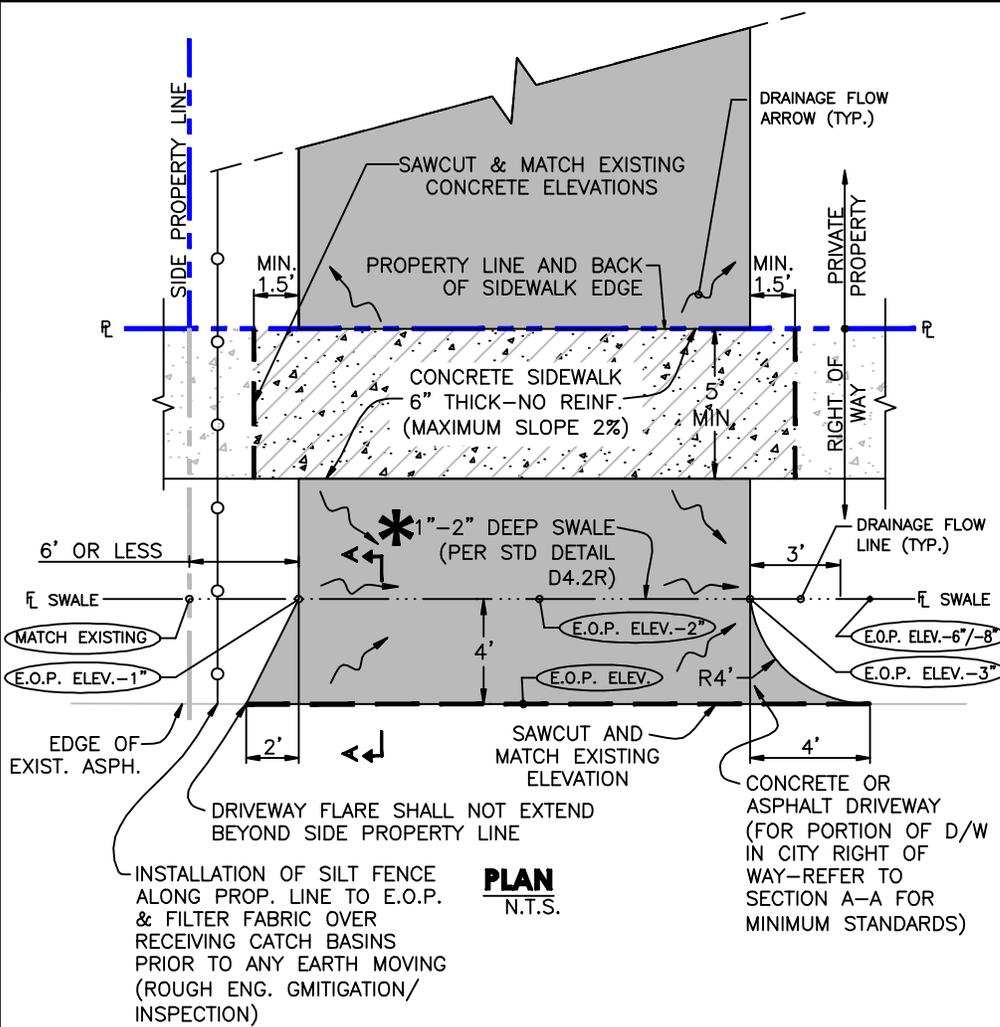
DRIVEWAY WITHOUT CURB
CONSTRUCTION IN CITY ROW

ISSUED:
1/2016
DETAIL TITLE:
C1.3R

GENERAL NOTES:

1. 2' WIDE FLARE OR OPTIONAL 4' RADIUS
2. UTILITY LOCATES SHALL BE CALLED AND DOCUMENTED PRIOR TO FIRST INSPECTION.
3. IF NEW DRIVEWAY LIMITS COVER EXISTING SEWER LATERAL:
 - A. NEW CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE WITH NEW TRAFFIC RATED BOX OR
 - B. EXISTING SEWER LATERAL SHALL BE RELOCATED WITH NEW CLEAN OUT INSTALLED AT PROPERTY LINE
4. SIDEWALKS SHALL BE CONCRETE, CONFORM TO CITY RIGHT OF WAY CONSTRUCTION & ENGINEERING STD DETAIL C2.1, AND RUN CONTINUOUSLY THROUGH ALL DRIVEWAYS.
5. PAVEMENT GRADES SHALL BE SLOPED TO ENSURE PROPER DRAINAGE TO SWALE IN CONFORMANCE WITH STD DETAIL D4.2R.
6. ALL MATERIALS, WORKMANSHIP, AND RESTORATION OF FEATURES IN THE RIGHT-OF-WAY SHALL BE TO THE SATISFACTION OF THE CITY ENGINEER OR INSPECTOR. MATERIAL CERTIFICATIONS, SAMPLES, SHOP DRAWINGS, & DENSITY TESTS MAY BE REQUIRED BY THE CITY INSPECTOR FOR VERIFICATION.
7. FOR DRIVEWAYS CONSTRUCTED THAT PROVIDE MORE THAN 6' FROM PROPERTY LINE, CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD DRIVEWAY PAVEMENT DETAIL C1.3R.

*** NOTE: FINAL DRIVEWAY ELEVATION AT SWALE MEASURED TO TOP OF PAVER (NOT HEADER CURB) FOR ALT. CURB DETAIL.**



R1-2/2016

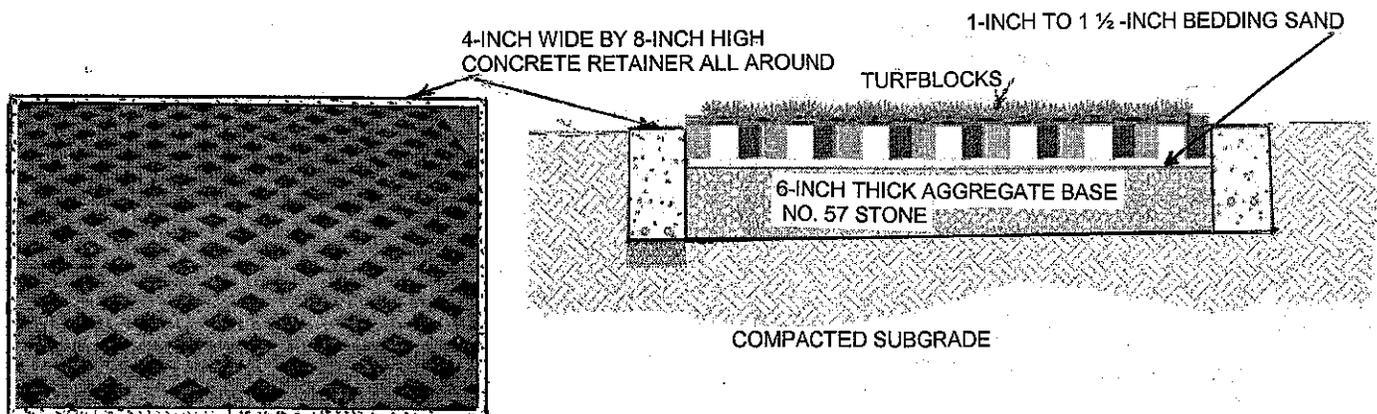


CITY OF FORT LAUDERDALE
DEPT. OF SUSTAINABLE DEVELOPMENT
RIGHT OF WAY ENGINEERING
& CONSTRUCTION

ALTERNATE DRIVEWAY W/OUT CURB
CONSTRUCTION IN CITY ROW

ISSUED:
1/2016
DETAIL TITLE:
C1.3R-ALT

TYPICAL TURFBLOCK INSTALLATION REQUIREMENTS IN THE CITY'S RIGHT-OF-WAY



A typical Turfblock installation in City's swales consists of a soil subgrade, a gravel base, a layer of bedding sand and the turf block. Topsoil and grass, or stone aggregate is placed in the openings.

- 1. Soil Subgrade:** The soil subgrade should be uniformly compacted to 95% of its optimum density prior to placing the gravel, sand and the grids.
- 2. Aggregate Base:** Aggregate, 6-inch thick layer of FDOT No. 57 Stone shall be provided beneath turf blocks.
- 3. Bedding Sand:** Bedding sand, between 1 and 1 1/2 inch thick layer shall be provided over the aggregate base. The sand should have uniform moisture content (not saturated) prior to placing the turf block. To maintain a level bedding surface, the sand should not be disturbed.
- 4. Edge Restraints:** Concrete edge restraints or turf block retainers are necessary for turf block installation in the City's swale. The retainers shall have an area of 4-inch wide by 8-inch high, with compressive strength of 3000 psi @ 28 days, and reinforced with a #4 bar.

Please be advised that the homeowner is responsible for maintaining the turf blocks at all times.

Provide a Specialty Paving Affidavit. Form is available on City's Website and included in the Driveway Standard Details Package.

Affidavit shall be properly executed and recorded in Broward County Records prior to permit issuance.

SPECIALTY PAVING AFFIDAVIT

STATE OF FLORIDA
COUNTY OF BROWARD

Before me this day personally appeared _____, Contractor of the referenced Master Permit # _____, for work at the following address: _____, who, being duly sworn, deposes and says that in the event of any damage or destruction to this specialty paving or subbase constructed under (Permit Number _____), neither the CITY or its employees, agents, successors and/or assigns, the contractor, nor any other person shall be held responsible, that the OWNER of the property described below shall bear all costs for the replacement and repair of said specialty paving and subbase at no cost to the City of Fort Lauderdale under any circumstances.

Owner agrees at its own cost and expense at all times to construct, inspect, repair, replace, maintain or cause to be maintained the materials associated with this permit. The Owner is obligated to comply with all City ordinances and land development regulations. All repairs and replacements shall be at least of equal quality and class to the original approved plans. If paving becomes a public nuisance, impacts drainage, damages utilities, facilities or other infrastructure, the City reserves the right to require owner to remove paving improvements and replace with Sod per City Detail D4.2R or an equal alternative. If the Owner fails to remove the improvements and if the City removes the paving improvements, then the Owner shall reimburse the City for the cost and expense of the repair and replacement. The City shall have the right to file a lien on the Property in the event the Owner fails to reimburse the City for all costs and expenses relate to removing the specialty pavers and subbase.

This Agreement shall be binding upon the successors and assigns of the parties, and all conditions and covenants in it shall be construed to be, and are, covenants running with and encumbering the Property.

The Owner shall protect, defend, indemnify and hold harmless the City, its officers, employees and agents from and against any and all lawsuits, penalties, damages, settlements, judgments, decrees, reasonable and necessary costs, charges and other expenses, including reasonable attorneys' fees and liabilities of every kind, nature or degree resulting from or arising out of the failure of the Owner to maintain and repair special pavers and subbase pursuant to the terms of this Specialty Paving Agreement except for any occurrence arising out of or resulting from the intentional conduct or negligence of the City, its officers, agents and employees.

I hereby represent and warrant that I am the owner of the Property described below and the party signing this Agreement is authorized to enter into a binding agreement on behalf of the Owner.

All legal documents pertaining to the above must be recorded by OWNER with Broward County Office of Records and transmitted with application and plans before permit can be approved.

LOT: _____ BLOCK: _____ SUBDIVISION: _____

ADDRESS: _____

CITY _____ STATE: _____ ZIP: _____

Owner (Please Print or Type)

Owner (Signature)

Sworn to and subscribed before me this _____ day of _____, A.D., 20 _____

Notary Public
State of Florida at Large
My Commission Expires:
