



DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 06/14/2024

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR), Section 47-24, Development Permits and Procedures, and must be filled out accurately with all applicable sections completed. Only complete the sections indicated for application type with N/A for those items not applicable. Refer to "Specifications for Plan Submittal" by application type for submittal requirements, which can be found on the City's website.

Select the application type and approval level in **SECTION A** and complete the sections specified under each type.

A APPLICATION TYPE AND APPROVAL LEVEL *Select the application type from the list below and check the applicable type.*

<p><input type="checkbox"/> LEVEL I ADMINISTRATIVE REVIEW COMMITTEE (ADMIN)</p> <ul style="list-style-type: none"> <input type="checkbox"/> New nonresidential less than 5,000 square feet <input type="checkbox"/> Change of use <i>(if same impact or less than existing use)</i> <input type="checkbox"/> Plat note or Nonvehicular access line (NVAL) amendment <input type="checkbox"/> Administrative site plan <input type="checkbox"/> Amendment to site plan* <input type="checkbox"/> Affordable Housing per §166.04151(7) Fla. Stat. <i>(Live Local Act)</i> <input type="checkbox"/> Property and right-of-way applications <i>(MOTs, construction staging)</i> <input type="checkbox"/> Parking Agreements <i>(separate from site plans)</i> <p>COMPLETE SECTIONS B, C, D, G</p>	<p><input type="checkbox"/> LEVEL II DEVELOPMENT REVIEW COMMITTEE (DRC)</p> <ul style="list-style-type: none"> <input type="checkbox"/> New Nonresidential 5,000 square feet or greater <input type="checkbox"/> Residential 5 units or more <input type="checkbox"/> Nonresidential use within 100 feet of residential property <input type="checkbox"/> Redevelopment proposals <input type="checkbox"/> Change in use <i>(if greater impact than existing use)</i> <input type="checkbox"/> Development in Regional Activity Centers (RAC)* <input type="checkbox"/> Development in Uptown Project Area* <input type="checkbox"/> Regional Activity Center Signage <input type="checkbox"/> Affordable Housing (≥10%) <p>COMPLETE SECTIONS B, C, D, E, F</p>	<p><input type="checkbox"/> LEVEL III PLANNING AND ZONING BOARD (PZB)</p> <ul style="list-style-type: none"> <input type="checkbox"/> Conditional Use <input type="checkbox"/> Parking Reduction <input type="checkbox"/> Flex Allocation <input type="checkbox"/> Cluster / Zero Lot Line <input type="checkbox"/> Modification of Yards* <input type="checkbox"/> Waterway Use <input type="checkbox"/> Mixed Use Development <input type="checkbox"/> Community Residences* <input type="checkbox"/> Social Service Residential Facility (SSRF) <input type="checkbox"/> Medical Cannabis Dispensing Facility* <input type="checkbox"/> Community Business District for uses greater than 10,000 square feet <p>COMPLETE SECTIONS B, C, D, E, F</p>	<p><input checked="" type="checkbox"/> LEVEL IV CITY COMMISSION (CC)</p> <ul style="list-style-type: none"> <input type="checkbox"/> Land Use Amendment <input type="checkbox"/> Rezoning <input type="checkbox"/> Plat <input checked="" type="checkbox"/> Public Purpose Use <input type="checkbox"/> Central Beach Development of Significant Impact* <input type="checkbox"/> Vacation of Right-of-Way <input type="checkbox"/> City Commission Review No PZB Review <input type="checkbox"/> Vacation of Easement* <p>COMPLETE SECTIONS B, C, D, E, F</p>
<p><input type="checkbox"/> MISCELLANEOUS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Affordable Workforce Housing Tax Reimbursement <input type="checkbox"/> Community Residence <input type="checkbox"/> Construction Noise Waiver <input type="checkbox"/> Design Review Team (DRT) <p>COMPLETE SECTIONS B, C, D, I</p>	<p><input type="checkbox"/> EXTENSION OR DEFERRAL</p> <ul style="list-style-type: none"> <input type="checkbox"/> Request to defer after an application is scheduled for public hearing <input type="checkbox"/> Request extension to previously approved application <i>(request must be within original approval date timeframe)</i> <p>COMPLETE SECTIONS B, C, H</p>	<p><input type="checkbox"/> APPEAL</p> <ul style="list-style-type: none"> <input type="checkbox"/> Appeal decision by approving body and De Novo hearing items <p>COMPLETE SECTIONS B, C, H</p>	<p><input type="checkbox"/> PROPERTY AND RIGHT-OF-WAY</p> <ul style="list-style-type: none"> <input type="checkbox"/> Road Closures <input type="checkbox"/> Construction Staging Plan <input type="checkbox"/> Revocable licenses <p>COMPLETE SECTIONS B, C, H</p>

*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

B APPLICANT INFORMATION *If applicant is the business operator, complete the agent column and provide property owner authorization.*

Applicant/Property Owner	TF/DNR DIV REC & PARKS: HUGH TAYLOR BIRCH ST PA
Address	
City, State, Zip	
Phone	
Email	
Proof of Ownership	
Applicant Signature:	Signature

Authorized Agent	Katrina Pacheco c/o H2M Architects & Engineers, Inc
Address	951 Yamato Road, Suite 202
City, State, Zip	Boca Raton, FL 33431
Phone	518-600-9648
Email	kpacheco@h2m.com
Authorization Letter	Provided
Agent Signature:	Signature <i>Katrina N. Pacheco</i>

C PARCEL INFORMATION

Address/General Location	2871 East Sunrise Boulevard, Fort Lauderdale, FL 33304
Folio Number(s)	494236000010
Legal Description (Brief)	of land in Government Lot 6, Section 36, Township 49
City Commission District	2 - Steven Glassman
Civic Association	N/A

D LAND USE INFORMATION

Existing Use	Fire Station
Land Use	Government
Zoning District	P
Proposed	<i>Applications requesting land use amendments and rezonings.</i>
Proposed Land Use	Fire Station
Proposed Zoning District	P



E PROJECT INFORMATION

Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.

Project Name	Fire Rescue Station #13			
Project Description <i>(Describe in detail)</i>	A new fire station shall be constructed on the same parcel as the existing Station #13 after demolition of said existing station. The proposed layout is a one-story concrete masonry and steel structure with a mezzanine and penthouse levels accommodating enclosure of mechanical and electrical systems, including a backup generator, to protect as many systems within the building envelope as possible from high winds and airborne debris. The ground floor of the station is elevated out of the flood plain to protect living and workspaces for the Fire Rescue Department.			
Estimated Project Cost	\$ TBD <i>(Estimated total project cost including land costs for all new development applications only)</i>			
Waterway Use	No			
Flex Units	N/A	Redevelopment Units	N/A	
Flex Acreage	N/A			
Residential Uses				
Single Family	N/A			
Townhouses	N/A			
Multifamily	N/A			
Cluster/Zero Lot Line	N/A			
Other	Fire Station with bunks			
Total <i>(dwelling units)</i>	N/A			
Residential Unit Mix	Efficiency / Studio	N/A	1 - Bedroom	N/A
Affordable Housing Units	N/A		% of AMI	
Affordable Unit Mix	Efficiency / Studio	N/A	1 - Bedroom	N/A
Traffic Study Required	No			
Parking Reduction	No			
Public Participation	No			
Non-Residential Uses				
Commercial	N/A			
Restaurant	N/A			
Office	Fire Station			
Industrial	N/A			
Other	N/A			
Total <i>(square feet)</i>	N/A			
2-Bedroom	N/A	3-Bedroom or More	N/A	
2-Bedroom	N/A	3-Bedroom or More	N/A	

F PROJECT DIMENSIONAL STANDARDS

Indicate all required and proposed standards for the project. Circle yes or no where indicated.

	Required Per ULDR	Proposed
Lot Size <i>(Square feet/ acres)</i>	No minimum size	40,000 (Square feet) (Existing - no change)
Lot Density <i>(Units/ acres)</i>	N/A	N/A
Lot Width	No minimum lot width	200' (Existing - no change)
Building Height <i>(Feet)</i>	60' max.	42'
Structure Length	300' max.	126'
Floor Area Ratio <i>(F.A.R.)</i>	No maximum	0.718
Lot Coverage	N/A	N/A
Open Space	N/A	N/A
Landscape Area	N/A	N/A
Parking Spaces	24	24
SETBACKS <i>(Indicate direction N, S, E, W)</i>	Required Per ULDR	Proposed
Front South	25'	41'
Side East	25'	68'
Corner / Side West	25'	5'
Rear North	25'	10'

For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.

	Required Per ULDR	Proposed	Deviation
Tower Stepback			
Front / Primary Street	N/A	N/A	Not Applicable
Sides / Secondary Street	N/A	N/A	Not Applicable
Building Height	N/A	N/A	Not Applicable
Streetwall Length	N/A	N/A	Not Applicable
Podium Height	N/A	N/A	Not Applicable
Tower Separation	N/A	N/A	Not Applicable
Tower Floorplate <i>(square feet)</i>	N/A	N/A	Not Applicable
Residential Unit Size <i>(minimum)</i>	N/A	N/A	Not Applicable

G AMENDED PROJECT INFORMATION

Provide approved and proposed amendments for project. Circle yes or no where indicated.

	Original Approval	Proposed Amendment	Amended
Project Name			
Proposed Amendment Description <i>(Describe in detail)</i>			
Residential Uses <i>(dwelling units)</i>			
Non-Residential Uses <i>(square feet)</i>			
Lot Size <i>(Square feet/ acres)</i>			
Lot Density <i>(Units/ acres)</i>			
Lot Width			
Building Height <i>(Feet)</i>			
Structure Length			
Floor Area Ratio <i>(F.A.R.)</i>			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate <i>(square feet)</i>			
Residential Unit Size <i>(minimum)</i>			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			



H EXTENSION, DEFERRAL, APPEAL INFORMATION Provide information for specific request. Circle approving body and yes or no.

Project Name		
Request Description		
EXTENSION REQUEST	DEFERRAL REQUEST	APPEAL REQUEST / DE NOVO HEARING
Approving Body	Approving Body	Approving Body
Original Approval Date	Scheduled Meeting Date	30 Days from Meeting <small>(Provide Date)</small>
Expiration Date <small>(Permit Submittal Deadline)</small>	Requested Deferral Date	60 Days from Meeting <small>(Provide Date)</small>
Expiration Date <small>(Permit Issuance Deadline)</small>	Previous Deferrals Granted	Appeal Request
Requested Extension <small>(No more than 24 months)</small>	Justification Letter Provided	Indicate Approving Body Appealing
Code Enforcement <small>(Applicant Obtain by Code Compliance Division)</small>	<small>*Note: Deferral requests are subject to a fee per deferral. See Fee Schedule for amount.</small>	
		De Novo Hearing Due to City Commission Call-Up

I MISCELLANEOUS Provide information on the specific request.

Project Name		
Request Description		
AFFORDABLE HOUSING TAX REIMBURSEMENT*	COMMUNITY RESIDENCE	NOISE WAIVER*
As Is Value \$	Residence Type	DRC Case Number
<small>Date</small>	Certification	Request Start Date
Completion Value \$	Length of Stay	Request End Date
<small>Date</small>	Number of Residents	Construction Start Time
Stabilized Value \$	Number of Live-in Staff	Construction End Time
<small>Date</small>	Habitable Rooms	Sunday Construction Times
Acquisition Value \$	Gross Floor Area	Noise Mitigation Plan Date of Plan
<small>Date</small>	DEVELOPMENT REVIEW TEAM (DRT)* <small>Complete Section F</small>	
		Previous Extension Resolution No. <small>(if applicable)</small>

*Application is subject to specific fees based on hourly rate with minimum amount of: DRT \$477, Affordable Housing Tax Reimbursement \$2,500, Noise Waiver \$954

CHECKLIST FOR SUBMITTAL AND COMPLETENESS: The following outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

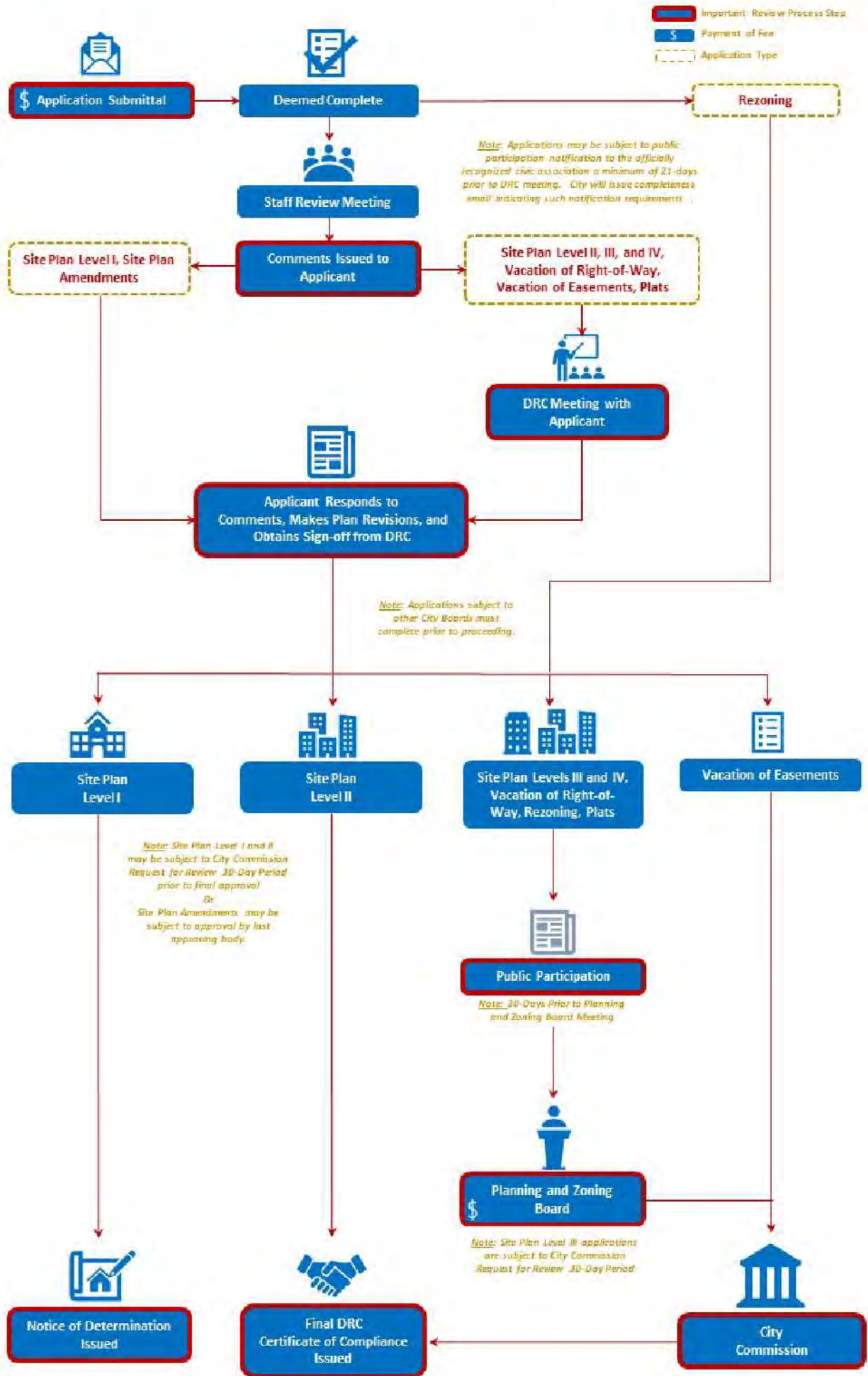
- Preliminary Development Meeting** completed on the following date: September 17, 2025
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** that includes all parcels within the proposed development.
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS: Submittals must be conducted through [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delay in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.



DRC PROCESS OVERVIEW: Below is the development review process flowchart with key steps to guide applicants.



CONTACT INFORMATION: Questions regarding the development process or LauderBuild, see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS

Planning Counter
 954-828-6520, Option 5
planning@fortlauderdale.gov

LAUDERBUILD ASSISTANCE AND QUESTIONS

DSD Customer Service
 954-828-6520, Option 1
lauderbuild@fortlauderdale.gov

City of Fort Lauderdale - Station

#13

DCP-P10918 TASK 2

2871 E Sunrise Blvd, Fort
Lauderdale, FL 33304



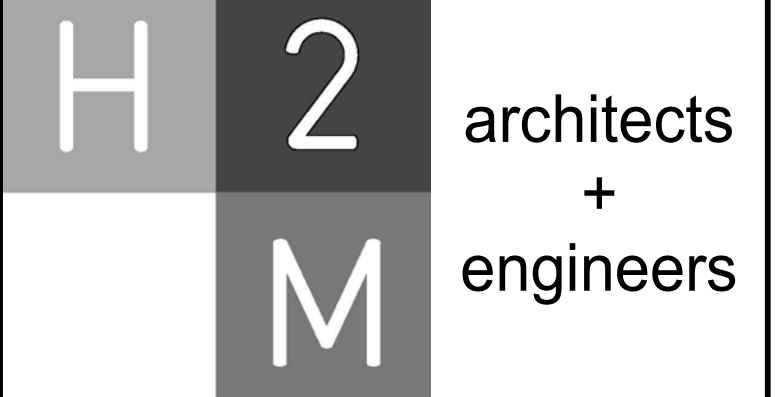
CITY OF FORT LAUDERDALE



FTLD2501
JULY 2025



Sheet List	
Sheet Number	Sheet Name
G 000	COVER SHEET
1	SURVEY (REFERENCE)
C-01	COVER (CIVIL)
C-02	LEGEND & ABBREVIATIONS
C-03	GENERAL NOTES
C-04	DEMOLITION PLAN
C-05	PROPOSED STORM WATER DRAINAGE PLAN
C-06	PROPOSED WATER AND SEWER PLAN
C-07	PROPOSED GRADING & PAVING PLAN
C-08	SIGNAGE PLAN
C-09	CIVIL STANDARD DETAILS (1)
C-10	CIVIL STANDARD DETAILS (2)
C-11	PAVING AND SIGNAGE DETAILS
C-12	EROSION CONTROL DETAILS
C-13	EROSION CONTROL PLAN
LSD 100	CONCEPTUAL TREE DISPOSITION SITE LAYOUT
LS 100	CONCEPTUAL LANDSCAPE SITE LAYOUT
A 101	SCHEMATIC PLAN - FIRST FLOOR
A 102	SCHEMATIC PLAN - MEZZANINE & PENTHOUSE
A 130	SCHEMATIC ROOF PLAN
A 200	SCHEMATIC BUILDING ELEVATIONS SOUTH & WEST
A 201	SCHEMATIC BUILDING ELEVATIONS NORTH & WEST



951 Yamato Road, Suite 202
Boca Raton, FL 33431
772.292.1187 • www.h2m.com

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

DESIGNED BY: D. PACHECO K. PACHECO	DRAWN BY: A. DUINN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2501	DATE: JULY 2025	SCALE: AS SHOWN	

**City of Fort Lauderdale -
Station #13**
DCP-P10918 TASK 2
2871 E Sunrise Blvd, Fort
Lauderdale, FL 33304

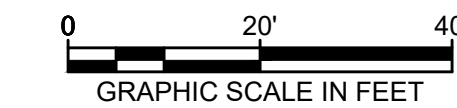
STATUS: DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

DRAWING No. **G 000.00**

NO CONSTRUCTION CONTRACT
AT THIS TIME

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.



SKETCH OF SURVEY BOUNDARY & TOPOGRAPHIC SURVEY

UTILITY LEGEND

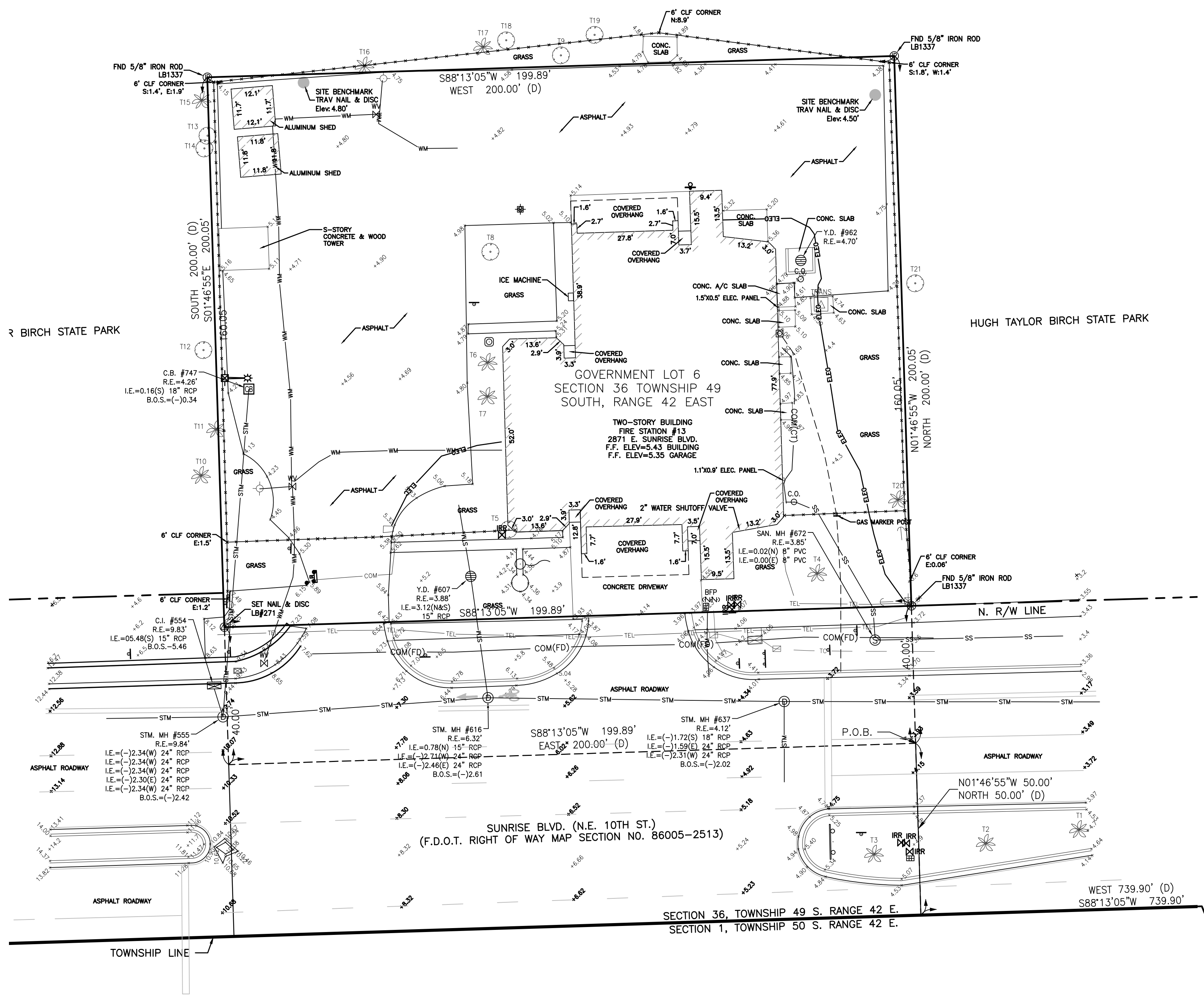
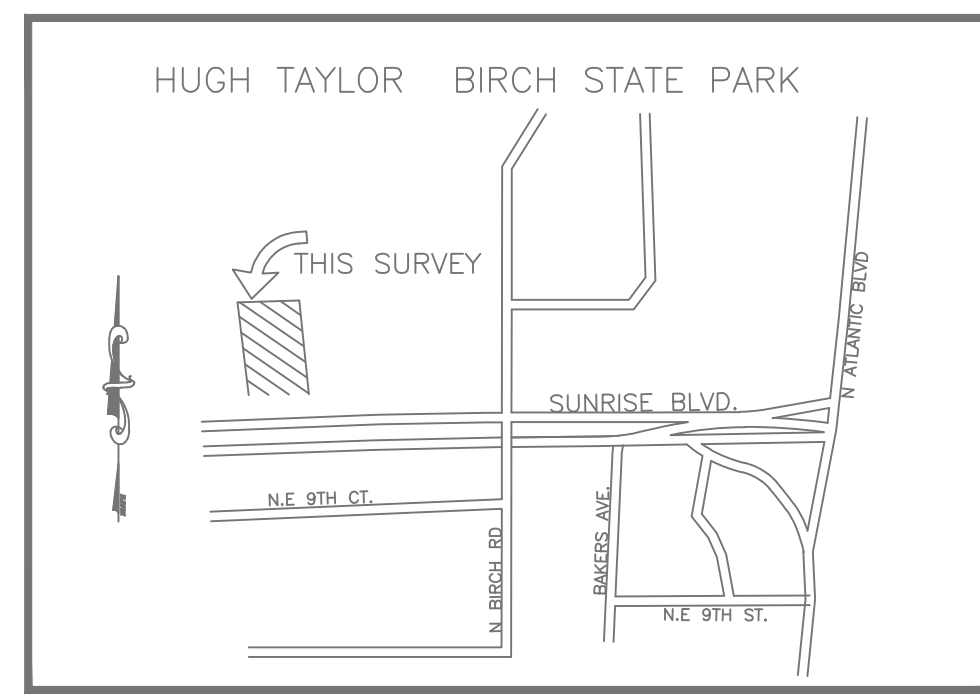
—●—	CABLE TELEVISION
—○—	COMMUNICATIONS
—○(FD)—	COMMUNICATIONS FIBER OPTIC
—●●—	ELECTRIC
—●—	NATURAL GAS
—SS—	SANITARY SEWER
—TEL—	STORM DRAINAGE
—STM—	TELEPHONE
—WM—	WATER MAIN

LEGEND:

B.C.R.	BROWARD COUNTY RECORDS
B.O.S.	BOTTOM OF STRUCTURE
CATV	CABLE TELEVISION
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
CLF	CHAIN LINK
(D)	DEED BEARINGS AND DISTANCES
ELEC.	ELECTRICAL
FND.	FOUND
I.R.	IRON ROD
I.E.	INVERT ELEVATION
LB	LICENSED BUSINESS
N&T	NAIL & TAB
OHW	OVER HEAD WIRES
O.R.B.	OFFICIAL RECORDS BOOKS
P.B.	PLAT BOOK
P.C.	PAGE
PVC	POLYVINYL CHLORIDE PIPE
PRM	PERMANENT REFERENCE MONUMENT
RPC	REINFORCED CONCRETE PIPE
R.E.	RIM ELEVATION
R/W	RIGHT-OF-WAY
AC	AIR CONDITIONING UNIT
ANCHOR	ANCHOR
BACK FLOW PREVENTER	BACK FLOW PREVENTER
BASKET BALL HOOP	BASKET BALL HOOP
BOLLARD	BOLLARD
CATCH BASIN	CATCH BASIN
CONC. LIGHT POLE	CONCRETE LIGHT POLE
CONC. POWER POLE	CONCRETE POWER POLE
■	ELECTRICAL PULL BOX
○	FIRE HYDRANT
○	FLAG POLE
○	GAS METER
○	IRRIGATION CONTROL VALVE
○	MARKER POST
○	MONITORING WELL
○	NAULTAB
○	PIPE
○	SANITARY CLEAN OUT
○	SANITARY MANHOLE
○	SIGN
○	STORM MANHOLE
○	TRAFFIC CONTROL
○	TRAFFIC POLE
○	TRAFFIC PULL BOX
○	TRANSFORMER PAD
○	WATER METER
○	WATER VALVE
○	WOOD TELEPHONE POLE
○	YARD DRAIN
○	PALM TREE
○	SHADE TREE
○	CHAIN LINK FENCE

Tree#	Description	Canopy
T1	7" COCONUT PALM BH=26'	14'
T2	7" COCONUT PALM BH=22'	14'
T3	7" COCONUT PALM BH=28'	14'
T4	7" SABAL PALM BH=28'	14'
T5	12" MADAGASCAR OLIVE	25'
T6	15" SABAL PALM BH=8"	12'
T7	16" FAN PALM BH=35'	16'
T8	12" YELLOW TABEBUIA	25'
T9	16" BLACK OLIVE	35'
T10	12" COCONUT PALM BH=28'	20'
T11	11" SABAL PALM BH=24'	15'
T12	10" MADAGASCAR OLIVE	18'
T13	10" STRANGLER FIG	20'
T14	12" STRANGLER FIG	25'
T15	12" SABAL PALM BH=26'	20'
T16	14" SABAL PALM BH=22'	15'
T17	16" SABAL PALM BH=11'	20'
T18	24" STRANGLER FIG	30'
T19	14" GUMBO LIMBO	30'
T20	6" ROBELLINI PALM BH=17"	20'
T21	12" UNKNOWN	25'

NOTE: THE UNDERGROUND UTILITIES DEPICTED
HEREON IS BASED ON SUBSURFACE UTILITY
DESIGNATIONS BY RITZEL-MASON AND LOCATED
BY CRAVEN-THOMPSON & ASSOC.



DESCRIPTION:

A PARCEL OF LAND IN GOVERNMENT LOT 6, SECTION 36, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 6; THENCE WEST ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 6, A DISTANCE OF 739.9 FEET TO A POINT; THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE OF GOVERNMENT LOT 6, A DISTANCE OF 50 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; THENCE CONTINUING NORTH ALONG SAID LINE, THAT IS AT RIGHT ANGLES TO SAID SOUTH LINE OF GOVERNMENT LOT 6, A DISTANCE OF 200 FEET TO A POINT; THENCE WEST AT RIGHT ANGLES A DISTANCE OF 200 FEET TO A POINT; THENCE SOUTH AT RIGHT ANGLES A DISTANCE OF 200 FEET TO A POINT; THENCE EAST AT RIGHT ANGLES A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING; LESS THE SOUTH 40 FEET THEREOF.

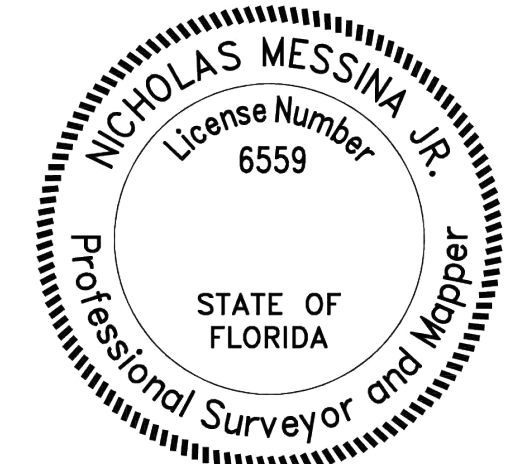
SURVEYOR'S NOTES:

- THIS SURVEY MAP AND REPORT OR COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OR A UNIQUE ELECTRONIC SIGNATURE OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER UNDER CHAPTER RULES 5J-17.061 & 5J-17.062 FLORIDA ADMINISTRATIVE CODE.
 - THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY AND ONLY THOSE UNDERGROUND UTILITIES DESIGNATED BY RITZEL-MASON, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED.
 - THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD'88), AS MEASURED UTILIZING A "TRIMBLE Dini 0.3" DIGITAL LEVEL AS REFERENCED TO AN FDOT BRIDGE EDH17-860466 BEING A FOUND BRASS DISC IN CONCRETE STAMPED "EDH17 RESET 1985", ELEVATION = 4.56.
 - THE HORIZONTAL CONTROL MEASUREMENTS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE) AND WERE OBTAINED BY UTILIZING "TRIMBLE R10" REAL TIME KINEMATICS SYSTEMS. THE ACCURACY OF THE HORIZONTAL CONTROL MEASUREMENTS HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS AND ADJUSTED USING TRIMBLE BUSINESS CENTER SOFTWARE. THE ADJUSTMENT IS BASED ON A LEAST SQUARE ADJUSTMENT CALCULATIONS AND MEETS A 95% CONFIDENCE LEVEL TO THE FOLLOWING PROJECT NETWORK CONTROL POINTS, AS ESTABLISHED BY FLORIDA DEPARTMENT OF TRANSPORTATION. THE MAXIMUM HORIZONTAL RESIDUAL ERROR OF 0.03+/-, AND HAVING HORIZONTAL ADJUSTMENT SCALE VALUE WAS CALCULATED TO BE 1.0000338155.
- | PT# | NORTHINGS | EASTINGS | ELEV. | DESCRIPTION |
|-------|------------|------------|-------|------------------------------------|
| BLC2 | 658195.206 | 950605.011 | 7.640 | BRASS DISC STAMPED "A1A-86-16-C02" |
| BLC3 | 659462.471 | 950726.582 | 7.483 | BRASS DISC STAMPED "A1A-86-16-C03" |
| DBLC6 | 653260.009 | 950366.819 | 7.387 | BRASS DISC STAMPED "A1A-86-12-C6" |
- BEARINGS SHOWN HEREON ARE BASED ON SAID PROJECT NETWORK CONTROL MAP. A BEARING OF NORTH 44°07'45" EAST BEING ESTABLISHED BETWEEN BLC2 AND BLC3. ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
 - TREE TYPES ARE DETERMINED TO THE BEST OF OUR KNOWLEDGE. EXACT SPECIES SHOULD BE DETERMINED BY A LICENSED BOTANIST, DENDROLOGIST OR OTHER PROFESSIONAL WITH SUCH CAPACITY.
 - THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS DO NOT REFLECT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT, NO INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WAS PROVIDED TO OR PURSUED BY THE UNDERSIGNED. ENCUMBRANCES OTHER THAN SHOWN HEREON MAY EXIST. THIS SURVEY IS SUBJECT TO PERTINENT EASEMENTS, RIGHTS-OF-WAY AND RESTRICTIONS OF RECORD, IF ANY. ENCUMBRANCES OTHER THAN SHOWN HEREON MAY EXIST.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY AND OTHER PERTINENT DATA SHOWN HEREON, OF THE ABOVE DESCRIBED PROPERTY WAS MADE ON THE GROUND, CONFORMS TO THE STANDARDS OF PRACTICES FOR LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN RULES 5J-17.051 AND 5J-17.052, (FLORIDA ADMINISTRATIVE CODE) AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, AS AMENDED, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION IN JULY 2020.

DATE OF LAST FIELD WORK JULY 13, 2020.



Digitally signed
by Nicholas
Messina Jr.
Date: 2020.07.14
13:50:05 -04'00'

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

NOT FOR CONSTRUCTION OR BID

SURVEYOR
NICHOLAS MESSINA JR.
FL PSM NO: 6559
DATE: 07/14/2020

DRAWN BY: NM
DATE: 07/14/20
DESIGNED BY: N/A
SCALE: 1"=20'
CHECKED BY: RY
FIELD BOOK:

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	REVISIONS	DESCRIPTION

PROJECT # 10918
FIRE STATION #13
CITY OF FORT LAUDERDALE
2871 E. SUNRISE BLVD

SHEET NO.	OF
1	1
TOTAL:	1
CAD FILE:	10918SURV
DRAWING FILE NO.	4-XXX-XX



CITY OF FORT LAUDERDALE

PROJECT No. P-10918 FIRE STATION #13 REPLACEMENT 2871 E SUNRISE BLVD FORT LAUDERDALE, FL 33304

FORT LAUDERDALE, FLORIDA
30% DESIGN
NOT FOR CONSTRUCTION



880 SW 145TH AVE
SUITE 106
PEMBROKE PINES, FL 33027
PHONE: 954-613-4353
www.cesconsult.com
CERTIFICATE OF AUTHORIZATION No. 8811



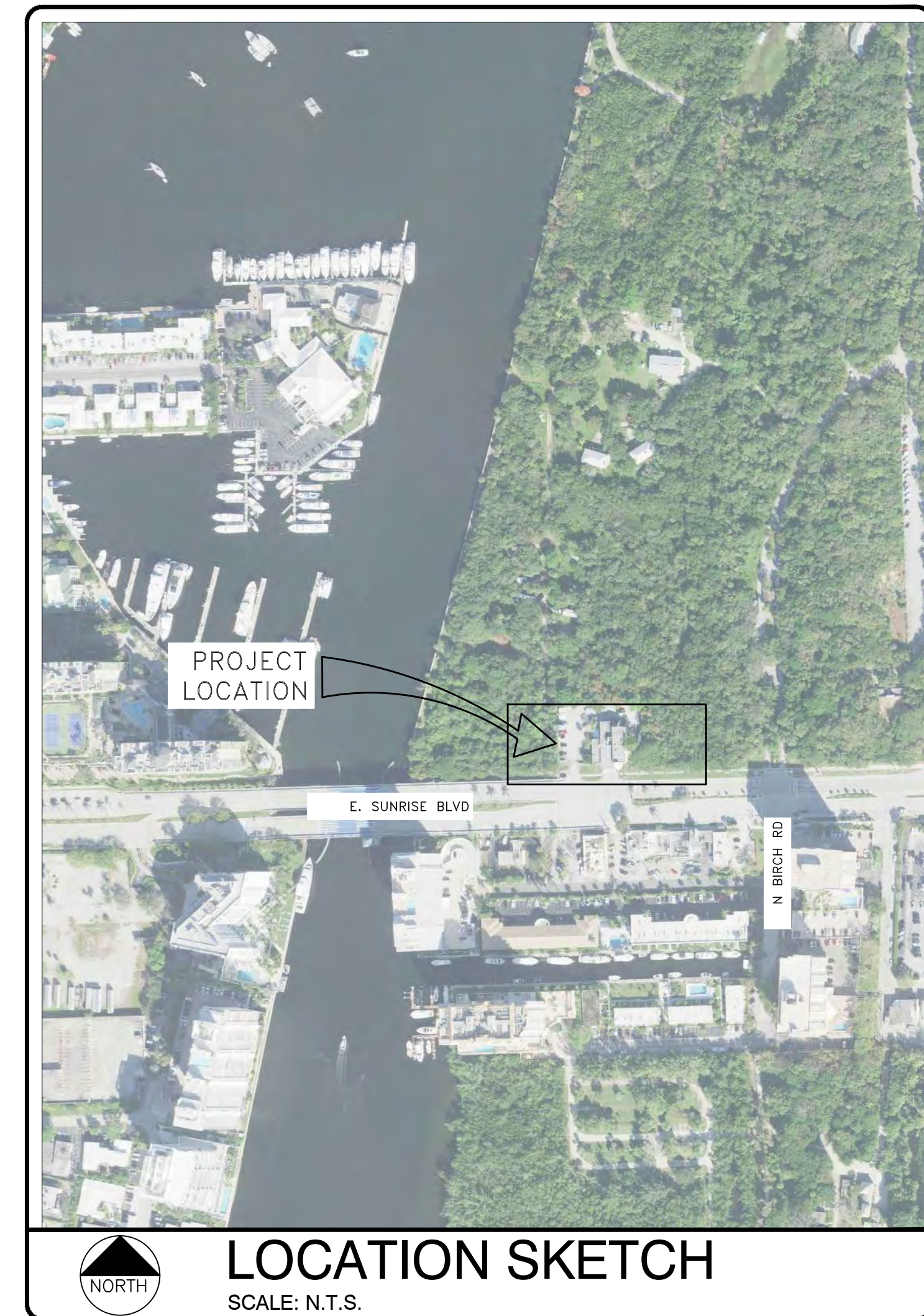
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.


VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH ATLANTIC VERTICAL DATUM OF 1988.
NAVD '88 + 1.51' = NGVD '29 ELEVATION

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING
PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



PROJECT No. P-10918
FIRE STATION #13 REPLACEMENT
2871 E SUNRISE BLVD
FORT LAUDERDALE, FL 33304

 CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

FORT LAUDERDALE CITY COMMISSION

DEAN J. TRANTALIS	MAYOR
JOHN HERBST	COMMISSIONER - DISTRICT I
STEVEN GLASSMAN	COMMISSIONER - DISTRICT II
PAMELA BEASLEY-PITTMAN	COMMISSIONER - DISTRICT III
BEN SORENSEN	COMMISSIONER - DISTRICT IV

PROJECTMANAGER	PMTITLE	PMPHONE
TBD	TBD	TBD

DATE: 07/24/2025
CAD FILE: C01-COVER.dwg
DRAWING FILE No.: C-01

30% DESIGN

ABBREVIATIONS:

- | | |
|-----------------------------------|---|
| B.C.R. = BROWARD COUNTY RECORDS | L.P. = LIGHT POLE |
| B.O.S = BOTTOM OF STRUCTURE | M.H. = MANHOLE |
| CATV = CABLE TELEVISION | M.W. = MONITORING WELL |
| CL = CENTERLINE | M.E. = MATCH EXISTING |
| C.B. = CATCH BASIN | NAVD = NORTH AMERICAN VERTICAL DATUM |
| C.B.S. = CONCRETE BLOCK STRUCTURE | NGVD = NATIONAL GEODETIC VERTICAL DATUM |
| C.L.F. = CHAIN LINK FENCE | O.R.B. = OFFICIAL RECORDS BOOK |
| C.O. = CLEAN OUT | P.B. = PLAT BOOK |
| CONC. = CONCRETE | P.O.B. = POINT OF BEGINNING |
| C.L.P. = CONCRETE LIGHT POLE | P.O.C. = POINT OF COMMENCEMENT |
| C.P.P. = CONCRETE POWER POLE | P.P. = POWER POLE |
| C.R. = CABLE RISER | R = RADIUS |
| E.S. = ELECTRIC SERVICE | TYP. = TYPICAL |
| F.P.L. = FLORIDA POWER & LIGHT | W.M. = WATER METER |
| F.F.E. = FINISHED FLOOR ELEVATION | W.V. = WATER VALVE |
| G.A. = GUY ANCHOR | |

LEGEND:

- | | | | |
|--|----------------------------|--|---------------------------------|
| | = ANCHOR | | = UTILITY PIPE REMOVAL |
| | = AIR CONDITIONING UNIT | | = CHAIN LINK FENCE |
| | = HANDI-CAPPED PARKING | | = PROPERTY LINE |
| | = FIRE HYDRANT | | = APPROXIMATE LIMITS OF WORK |
| | = BACK FLOW PREVENTER | | = CENTER LINE |
| | = CONCRETE LIGHT POLE | | = SITE VISIBILITY TRIANGLE |
| | = CATCH BASIN | | = BUILDING LIMIT |
| | = SANITARY MANHOLE | | = CATCH BASIN |
| | = STORM MANHOLE | | = CLEAN OUT |
| | = EXISTING TREE | | = VALVE |
| | = EXISTING PALM TREE | | = EXISTING DRAINAGE FLOW ARROWS |
| | = NAIL AND TAB | | = CABLE TELEVISION |
| | = TRAFFIC CONTROL | | = COMMUNICATIONS |
| | = TRAFFIC POLE | | = COMMUNICATIONS FIBER OPTIC |
| | = TRAFFIC PULL BOX | | = ELECTRIC |
| | = TRANSFORMER PAD | | = NATURAL GAS |
| | = SANITARY CLEAN OUT | | = SANITARY SEWER |
| | = IRRIGATION CONTROL VALVE | | = STORM DRAINAGE |
| | = WATER METER | | = TELEPHONE |
| | = WATER VALVE | | = WATER MAIN |
| | = YARD DRAIN | | = EXISTING SPOT ELEVATION |
| | = GAS METER | | = PROPOSED ELEVATION |
| | = MONITORING WELL | | = DRAINAGE WELL |

- | | | | | | | | |
|--|------------------------------|--|------------------|--|---------------------------|--|----------------------------|
| | TO BE REMOVED | | TO BE DEMOLISHED | | PROPOSED ASPHALT PAVEMENT | | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED HEAVY-DUTY CONCRETE | | PROPOSED SOD | | PROPOSED RETAINING WALL | | PROPOSED GRAVEL |

INDEX SHEET:

SHEET NO.	DWG. TITLE	SHEET TITLE
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2	C-02	LEGEND & ABBREVIATIONS
3	C-03	GENERAL NOTES
4	C-04	DEMOLITION PLAN
5	C-05	PROPOSED STORMWATER DRAINAGE PLAN
6	C-06	PROPOSED WATER AND SEWER PLAN
7	C-07	PROPOSED GRADING & PAVING PLAN
8	C-08	SIGNAGE PLAN
9	C-09	CIVIL STANDARD DETAILS
10	C-10	CIVIL STANDARD DETAILS
11	C-11	PAVING AND SIGNAGE DETAILS
12	C-12	EROSION CONTROL DETAILS
13	C-13	EROSION CONTROL PLAN

DATE: 07/10/2025	DESIGNED BY: SCALE:	CHECKED BY: M.V.	FIELD BOOK:
DRAWN BY: V.P.	D.M.		

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
 100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHK'D	DESCRIPTION
1	7/24/2025	V.P.	M.V.	30% SUBMITTAL

PROJECT # P-10918
 FIRE STATION #13 REPLACEMENT
 LEGEND & ABBREVIATIONS
 2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304

DRC SUBMITTAL - PRELIMINARY
 NOT FOR CONSTRUCTION OR BIDDING

PRELIMINARY PLAN
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SHEET NO. 2	OF 13
C-02	
TOTAL: 13	
CAD FILE: C02-LEGEND & ABBV (1).dwg	
DRAWING FILE NO.	

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 2 WORKING DAYS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR MUST CALL THE UTILITY COMPANIES BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS INCLUDING ANY DEWATERING PERMITS AND FDEP NOI, AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND ENGINEER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING ALL QUANTITIES, TAKE-OFF MEASUREMENTS, MATERIALS, ETC. DURING THE BID PROCESS WHEN DISCREPANCIES OCCUR, THE PHYSICAL PLAN TAKES PRECEDENCE. THE ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, COUNTY, TOWN OR PROJECT MANAGERS ARE NOT TO BE HELD RESPONSIBLE FOR DISCREPANCIES TO THE SPECIFICATIONS OR PLANS.
- THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGES OUTSIDE THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY THIS CONSTRUCTION TO AN EQUAL OR BETTER CONDITION THAN CURRENTLY EXISTS.
- CONTRACTOR IS ADVISED THAT THE U.S. ENVIRONMENTAL PROTECTION AGENCY REQUIRES THAT ALL OPERATORS FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES GENERAL PERMIT PRIOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN THE SAME. A COPY SHALL BE SENT TO THE ENGINEER OF RECORD.
- FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF PROPOSED EXCAVATION." THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 2 WORKING DAYS AND A MAXIMUM OF 5 WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE LOCAL ELECTRICAL PROVIDER ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL PLANS RELATED TO SITE WORK INCLUDING (BUT NOT LIMITED TO) LANDSCAPE, IRRIGATION, SITE LIGHTING, BUILDING FOUNDATION, PLUMBING, FIRE SPRINKLER, AND OTHER APPLICABLE PLANS. FOR CONFLICTING INFORMATION ALERT DESIGN TEAM OF ANY CONFLICT FOR RESOLUTION.
- ANY DEBRIS RESULTING FROM STRIPPING AND DEMOLITION OPERATIONS SHALL BE REMOVED FROM THE SITE AT FREQUENT INTERVALS TO PREVENT THIS MATERIAL FROM ACCUMULATING ON SITE.
- UPON REMOVAL OF TREES, SHRUBS OR ANY STUMP GRINDING, NO ROOT GREATER THAN THREE INCHES IN DIAMETER SHALL REMAIN WITHIN FIVE FEET OF AN UNDERGROUND STRUCTURE OR UTILITY LINE OR UNDER PAVED FOOTINGS OR PAVED AREAS.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ALL CURRENT FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
- THE SURVEY INCLUDED IN THIS SET IS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL INFORMATION SHOWN ON THE SURVEY.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER, THE DESIGN ENGINEER, AND APPLICABLE REGULATORY AGENCY PRIOR TO CONSTRUCTION. THE MEANS AND METHODS FOR DEWATERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS FOR DEWATERING ARE TO BE INCLUDED IN THE CONTRACTOR'S BID.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH SAFETY ACT.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL COUNTY OR STATE SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS, WHICHEVER IS MOST RESTRICTIVE.
- ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED, UNLESS OTHERWISE NOTED.
- TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED WITH BAHIA SOD UNLESS INDICATED OTHERWISE ON THE ENGINEERING OR LANDSCAPE PLANS. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT

- WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED, AND MAINTAINED UNTIL A GOOD STAND OF GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL ENSURE THAT PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- ALL PAVEMENT PARKING AND STRIPING SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS.
- ALL EXISTING AND PROPOSED RIM ELEVATIONS SHALL BE SET TO FINISHED SURFACE GRADE UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLAN. THIS SHALL INCLUDE ALL UTILITY, SEWER, WATER AND DRAINAGE STRUCTURES, MANHOLES, INLETS, VAULTS, AND OTHER APPURTENANCES.

INTERRUPTION OF EXISTING UTILITIES

- ANY DEMOLITION WORK THAT REQUIRES INTERRUPTION OF SERVICE TO ANY CUSTOMER SHALL BE DONE SO WITH A MINIMUM OF SEVENTY-TWO (72) HOUR NOTICE TO, AND WRITTEN APPROVAL BY, THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE LOCAL JURISDICTIONAL AGENCIES AND OTHER GOVERNING AGENCIES, AND OTHER AFFECTED UTILITIES PRIOR TO SCHEDULING THE SHUT DOWN TO ASSESS THE SCOPE OF WORK. ALL SYSTEM SHUT DOWNS SHALL BE SCHEDULED BY THE CONTRACTOR AT SUCH TIME THAT SYSTEM DEMAND IS LOW. THIS GENERALLY REQUIRES NIGHT TIME WORK BY THE CONTRACTOR AND REQUIRES FULL TIME INSPECTION BY A REPRESENTATIVE OF THE UTILITY. ALL COST FOR OVERTIME WORK BY THE REPRESENTATIVE OF THE UTILITY SHALL BE BORNE BY THE CONTRACTOR. EACH CUSTOMER AFFECTED BY THE SHUT DOWN SHALL BE PROVIDED, MINIMUM, FORTY-EIGHT (48) HOURS WRITTEN NOTIFICATION BY THE CONTRACTOR.

PRE-CONSTRUCTION RESPONSIBILITIES

- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF WORK.
- EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

WATER AND SEWER UTILITY NOTES

- ALL CONSTRUCTION SHALL MEET OR EXCEED THE LOCAL WATER AND SEWER REQUIREMENTS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE SPECIFICATIONS AND DETAILS FROM THE LOCAL AGENCY.
- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES AND GRAVITY SEWER LINES AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. PIPE FITTINGS, ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE AS-BUILT BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- ALL POTABLE WATER PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED OR MARKED IN ACCORDANCE WITH F.A.C. 62-555.320(21)(b)3, USING BLUE AS THE PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL, PIPE STRIPED DURING THE MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING AND AFTER INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPE WITH AN INTERNAL DIAMETER OR 24" OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO

- PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF AN EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
- THE POTABLE, FIRE LINE, AND FIRE LINE BY-PASS BACKFLOW PREVENTERS ARE TO BE CERTIFIED TO UTILITY SERVICES PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. CALL LISA WILSON-DAVIS AT (561)338-7310.
- ALL PIPES AND CONNECTIONS ARE TO BE RESTRAINED IN ACCORDANCE WITH THE DETAILS ENCLOSED HEREIN.
- ALL WATER MAIN SHALL BE PVC C-900 UNLESS OTHERWISE NOTED.
- ALL GRAVITY LATERALS SHALL BE PVC SDR-26 UNLESS OTHERWISE NOTED.

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - THE TEMPORARY DRIVEWAY AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR DRIVING), THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY DRIVING AREA AS CONDITIONS DEMAND.
 - ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION. PRECONSTRUCTION RESPONSIBILITIES

DEMOLITION NOTES

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE REMOVED OR RELOCATED SHALL BE PRESERVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION. CONTRACTOR TO SEE LANDSCAPE PLAN FOR TREE PROTECTION REQUIREMENTS. ALL TREES TO REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR TO NOTE EXISTING TREES TO REMAIN. SHOULD ANY TREE TO REMAIN BE DAMAGED BY THE CONTRACTOR, IT WILL REQUIRE REPLACEMENT IN KIND IN ACCORDANCE WITH LOCAL JURISDICTION'S REQUIREMENTS.
- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- ALL VALVE BOXES, MANHOLES, CATCH BASINS, AND OTHER ITEMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY LOCATIONS.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE OWNER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
- CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW FACILITIES.

MINIMUM REQUIRED AS-BUILT INFORMATION

- ALL AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR, AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
- UTILITY CROSSING SEPARATION INFORMATION FOR THAT PROVIDED ON THE PLANS VERIFYING:
 - SIZE AND MATERIAL OF CROSSING PIPES
 - TOP ELEVATION OF BOTTOM PIPE
 - BOTTOM ELEVATION OF TOP PIPE
 - FINISH SURFACE ELEVATION OVER UTILITY CROSSING

- STORM DRAINAGE:
 - INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES.
 - INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS.
 - CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORM WATER MANAGEMENT AREAS IMMEDIATELY AFTER FINAL GRADING AND PRIOR TO SEEDING OR SODDING OF THE SLOPES. AT A MINIMUM, THE CONTRACTOR SHALL PROVIDE CROSS SECTIONS ON ALL SIDES OF THE WATER MANAGEMENT AREAS AT 25-FOOT INTERVALS. THE CROSS SECTIONS SHALL BE PROVIDED FROM TOP OF BANK TO THE SLOPE BREAK BELOW CONTROL ELEVATION THE ENGINEER'S APPROVAL IS REQUIRED PRIOR TO GRASSING OF THE BANK. IF ANY MODIFICATIONS ARE SPECIFIED, ADDITIONAL AS-BUILTS MAY BE REQUIRED.

- PRESSURE SYSTEMS (WATER, RECLAIMED, AND FORCE MAINS):
 - ACTUAL LENGTHS BETWEEN BRANCHES AND VALVES ALONG THE MAIN RUN.
 - TOP OF PIPE AND FINISHED GRADE ELEVATIONS AT 100' INTERVALS.
 - LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES.)
 - ALL AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
 - UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD COMPLETE SETS OF AS-BUILT CONSTRUCTION DRAWINGS AS REQUIRED FOR SUBMITTAL AND APPROVAL. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES, AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS, AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
 - ALL OTHER REQUIRED PRESSURE PIPE INFORMATION IN ACCORDANCE WITH THE AS-BUILT REQUIREMENTS OF THE CITY. 5. REVISIONS TO ROUTING OF PIPING AND CONDUITS. 6. LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES.

- REVISIONS TO ELECTRICAL CIRCUITRY.
- ACTUAL EQUIPMENT LOCATIONS.
- CHANGES MADE BY CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE.
- CHANGES MADE FOLLOWING ENGINEER'S WRITTEN ORDERS.
- DETAILS NOT ON THE ORIGINAL CONTRACT DRAWINGS.
- FIELD RECORDS FOR VARIABLE AND CONCEALED CONDITIONS.
- ALL SLEEVES, FITTINGS, TEES, BENDS, VALVES, ETC. SHALL BE LOCATED BY STATION/OFFSET (OR METHOD APPROVED BY ENGINEER) AND ELEVATION OF TOP OF PIPE FOR ALL CONSTRUCTED SLEEVING. AS-BUILTS FOR ALL SLEEVING DEPICTING TOP OF PIPE AT 100-FOOT INTERVALS MUST BE PROVIDED.
- RECORD DRAWINGS SHALL INDICATE AS-BUILT DATA FOR EVERY ELEVATION SHOWN ON THE PLANS.
- IF A NEW BENCHMARK LOCATION IS ESTABLISHED, CONTRACTOR SHALL PROVIDE A BENCH LOOP CLOSURE TO THE CLOSEST EXISTING BENCHMARKS IN BOTH DIRECTIONS. ALL BENCHMARK DATA SHALL BE SUBMITTED BY A REGISTERED LAND SURVEYOR.
- IDENTIFICATION OF ADDENDUM ITEMS ISSUED DURING BIDDING PERIOD.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL AS-BUILT DATA FOR UTILITIES AND SLEEVING IS COLLECTED PRIOR TO PAVEMENT SECTION CONSTRUCTION. PRELIMINARY UTILITY AS-BUILTS MUST BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO PAVEMENT SECTION CONSTRUCTION.

CONSTRUCTION SAFETY

- ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.

SURVEY DATA

- EXISTING SITE INFORMATION SHOWN ON THE PLANS AND SURVEY HAS BEEN PROVIDED BY CRAVEN THOMPSON & ASSOCIATES, INC. DATED 07-14-2020.
- ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88)
- THE CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO SURVEY MAKERS DURING CONSTRUCTION. ANY SURVEY MARKERS DAMAGED DURING CONSTRUCTION WILL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.
- FOR REFERENCE MONUMENTS, SEE SURVEY DRAWINGS FOR DETAILS.

DRC SUBMITTAL - PRELIMINARY NOT FOR CONSTRUCTION OR BIDDING

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.



DATE: 07/10/2025	DESIGNED BY: D.M.	CHECKED BY: M.V.	FIELD BOOK:
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**CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE**

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

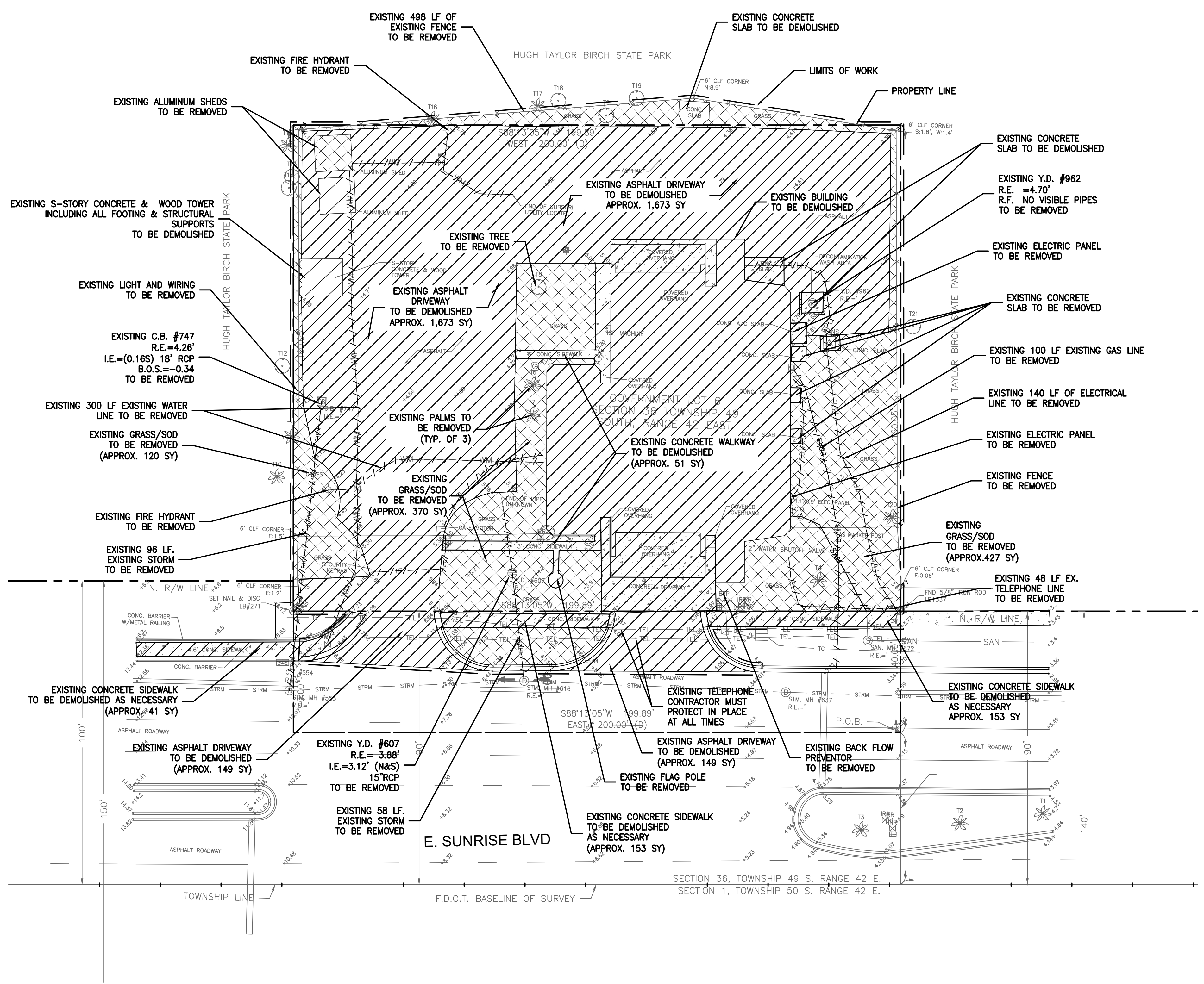
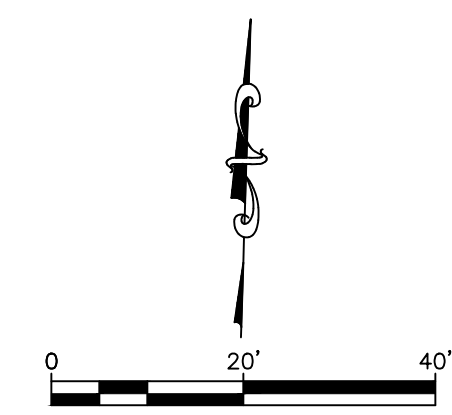
NO.	DATE	BY	REVISIONS		DESCRIPTION
			CHK'D	M.V.	
1	7/24/2025	V.P		30%	SUBMITTAL

**PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
GENERAL NOTES**

2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304

SHEET No. 3	OF 13
C-03	
TOTAL: 13	
CAD FILE: C03-GENERAL NOTES.dwg	
DRAWING FILE NO.	

NO.	DATE	BY	CHK'D	DESCRIPTION
1	7/24/2025	V.P.	M.V.	30% SUBMITTAL



DEMOLITION PLAN
SCALE: 1" = 20'

SCOPE OF WORK:

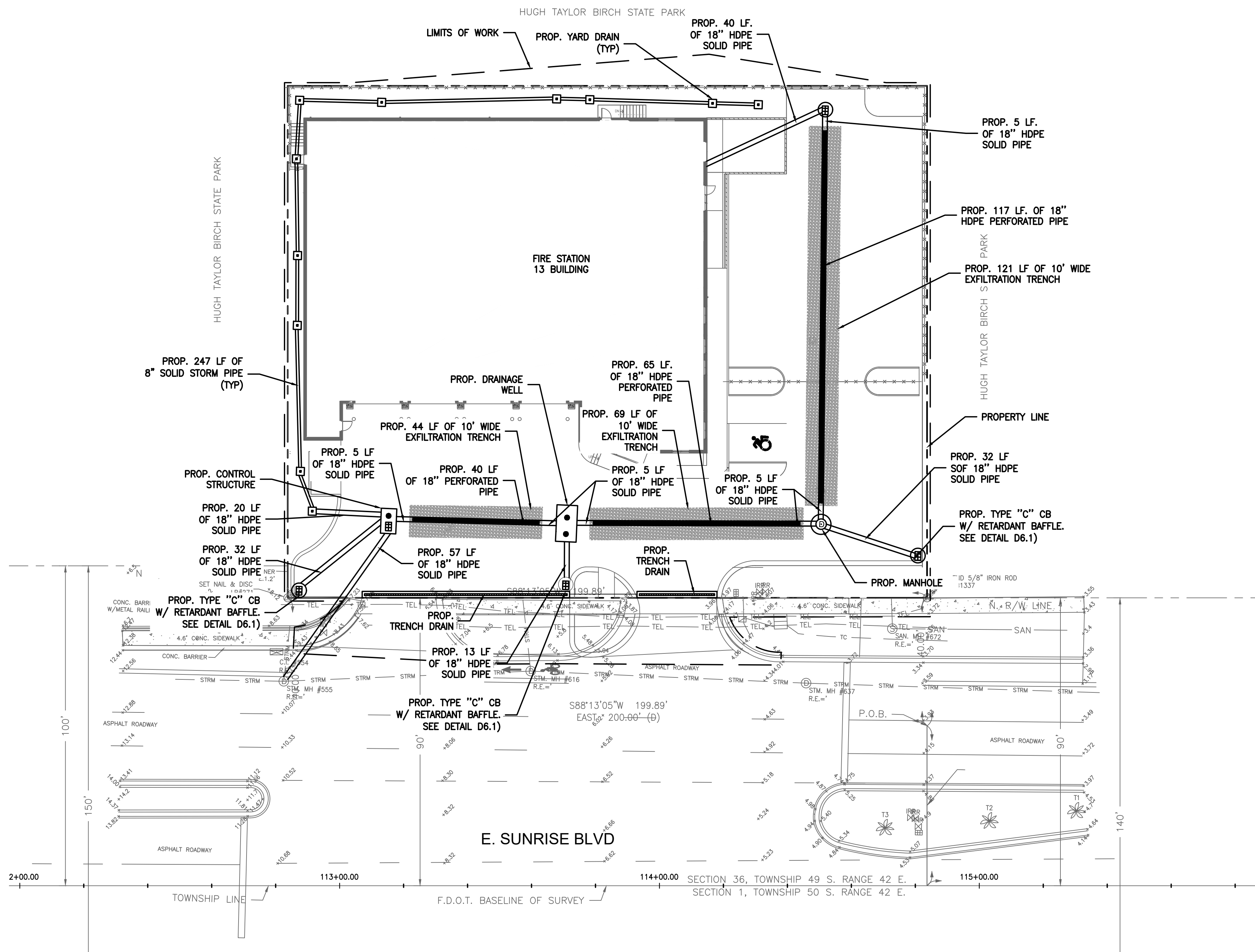
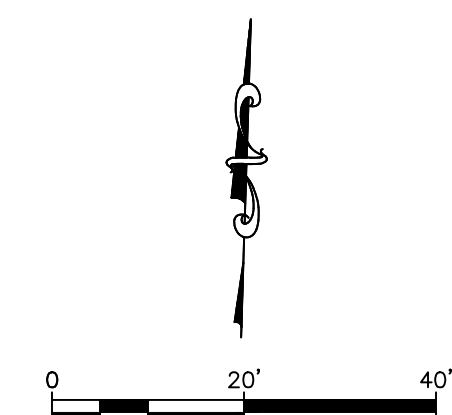
1. DEMOLISH/DISPOSE OF APPROX. 498 LF OF FENCE.
2. DEMOLISH/DISPOSE OF APPROX. 245 SY OF CONCRETE.
3. DEMOLISH/DISPOSE OF APPROX. 917 SY OF SOD AND VEGETATION
4. DEMOLISH/DISPOSE OF APPROX. 1,673 SY OF ASPHALT DRIVEWAY.

DEMOLITION NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF EXISTING UNDERGROUND AND OVERHEAD FRANCHISE UTILITIES FACILITIES (INCLUDING COORDINATION WITH FRANCHISE UTILITY COMPANIES) AND SHALL BE RESPONSIBLE FOR INSTALLATION OF NEW FRANCHISE UTILITIES (INCLUDING COORDINATION WITH FRANCHISE UTILITY COMPANIES) REQUIRED TO CONSTRUCT AND SERVICE THE PROJECT.
2. ALL WORK WITHIN E SUNRISE BLVD SHALL CONFORM TO FDOT HIGHWAY CONSTRUCTION & ENGINEERING DIVISION MINIMUM STANDARDS.
3. SEE PAVING, GRADING AND DRAINAGE PLANS FOR ROADWAY IMPROVEMENTS AND UTILITY CUTS ALONG SIDE STREETS.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROVED MAINTENANCE OF TEMPORARY MEASURES AS NECESSARY TO ACCOMMODATE PEDESTRIANS. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH FDOT INDEX 102-600.
5. ALL CURB, CONCRETE, AND ASPHALT WITHIN LIMITS OF WORK TO BE REMOVED UNLESS SPECIFICALLY CALLED OUT TO REMAIN.
6. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
7. ANY ITEMS THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL REMOVE AND STOCKPILE ALL SIGNAGE AND OTHER ITEMS SALVAGEABLE FOR THE OWNER.
9. CONTRACTOR SHALL REFER TO LANDSCAPE PLANS FOR TREE REMOVAL, RELOCATION, AND PROTECTION INFORMATION.
10. ALL VALVE BOXES, MANHOLES, CATCH BASINS, CLEAN OUTS, AND OTHER STRUCTURES TO REMAIN SHALL BE ADJUSTED TO THE PROPOSED GRADE.
11. REMOVAL OF EXISTING AND/OR TEMPORARY PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY WATER BLASTING. THE USE OF BLACK PAINT TO COVER EXISTING AND/OR TEMPORARY PAVEMENT MARKINGS IS PROHIBITED.
12. ALL DEMOLITION SHALL BE WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
14. CONTRACTOR TO INSTALL SAFETY FENCE AND PROPERLY SIGN/MARK AROUND WORK AND STAGING AREA TO PREVENT PEDESTRIAN TRAFFIC FROM ENTERING.
15. CONTRACTOR SHALL PROVIDE ADEQUATE MAINTENANCE OF TRAFFIC AROUND WORK AND STAGING AREA.
16. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS, IF APPLICABLE.
17. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FORM CONSTRUCTION ACTIVITIES.
18. CONTRACTOR SHALL COMPLY WITH ALL CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT DEMOLITION NOTES AND SPECIFICATIONS WHILE CONDUCTING DEMOLITION ACTIVITIES.

NOTE: THE UNDERGROUND UTILITIES DICPICTED HEREON IS BASED ON SUBSURFACE UTILITY DESIGNATIONS BY RITZEL-MASON AND LOCATED BY CRAVEN THOMPSON & ASSOCIATES.

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING
**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.



PROPOSED STORMWATER DRAINAGE PLAN
SCALE: 1" = 20'

STORMWATER DRAINAGE SCOPE OF WORK:

1. INSTALL APPROX. 256 LF OF 18" HDPE PERFORATED PIPE.
2. INSTALL APPROX. 224 LF OF 18" HDPE STORM PIPE.
3. INSTALL APPROX. 247 LF OF 8" SOLID STORM PIPE.
4. INSTALL APPROX. 90 LF OF TRENCH DRAIN.
5. INSTALL APPROX. 234 LF OF 10" WIDE EXFILTRATION TRENCH.

STORMWATER DRAINAGE NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH THESE NOTES, ALL PLAN-SPECIFIC DETAILS, AND LOCAL COUNTY, AND STATE STORMWATER REGULATIONS.
2. ALL EXISTING AND PROPOSED STORM STRUCTURE LOCATIONS AND ELEVATIONS MUST BE FIELD-VERIFIED PRIOR TO INSTALLATION. REPORT DISCREPANCIES TO THE ENGINEER.
3. STORMWATER SHALL BE RETAINED ON-SITE IN ACCORDANCE WITH BROWARD COUNTY CODE CH. 27, CITY OF FORT LAUDERDALE, AND SFWMD REQUIREMENTS.
4. IF STORMWATER DRAINAGE WELLS ARE PROPOSED, THEY MUST BE PERMITTED THROUGH FDEP'S UIC PROGRAM AND INSTALLED BY A LICENSED CONTRACTOR.
5. CONTRACTOR MUST OBTAIN NPDES CGP COVERAGE AND IMPLEMENT ALL REQUIRED BMPs (SILT FENCE, STABILIZED ENTRANCE, INLET PROTECTION, ETC.).
6. DRAINAGE PIPES SHALL BE RCP CLASS III OR HDPE TYPE S (AASHTO M294), UNLESS OTHERWISE NOTED. INSTALL WITH MIN. 0.5% SLOPE AND SILT-TIGHT JOINTS.
7. ALL DRAINAGE STRUCTURES SHALL BE TRAFFIC-RATED, PRECAST CONCRETE, AND ADJUSTED TO FINAL GRADE.
8. STORM CONNECTIONS TO FDOT ROW (SR 838) REQUIRE FDOT PERMIT APPROVAL. NO UNAUTHORIZED DISCHARGE INTO FDOT SYSTEM IS PERMITTED.
9. CONTRACTOR SHALL TRACK ALL INSTALLED STORM SYSTEM LOCATIONS AND PROVIDE MARKED-UP AS-BUILTS TO THE ENGINEER AT PROJECT CLOSEOUT.
10. FINAL STORM SYSTEM MUST BE CLEANED AND FUNCTIONAL PRIOR TO FINAL INSPECTION AND ACCEPTANCE.

DATE:	07/10/2025
DRAWN BY:	V.P.
DESIGNED BY:	D.M.
CHECKED BY:	M.V.
FIELD BOOK:	

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	DESCRIPTION
1	7/24/2025	V.P.	30% SUBMITTAL

PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
PROPOSED STORMWATER DRAINAGE PLAN
2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304

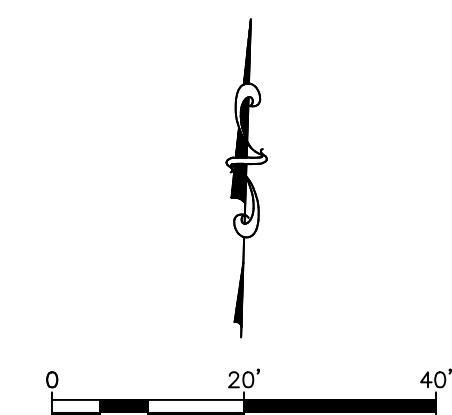
DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
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NOTE: THE UNDERGROUND UTILITIES DICTATED HEREON IS BASED ON SUBSURFACE UTILITY DESIGNATIONS BY RITZEL-MASON AND LOCATED BY CRAVEN THOMPSON & ASSOCIATES.

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

SHEET NO. 5	OF 13
C-05	
TOTAL: 13	
CAD FILE:	C05-STM.dwg
DRAWING FILE NO.	



DATE:	07/10/2025
DRAWN BY:	V.P.
DESIGNED BY:	D.M.
CHECKED BY:	M.V.
FIELD BOOK:	

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

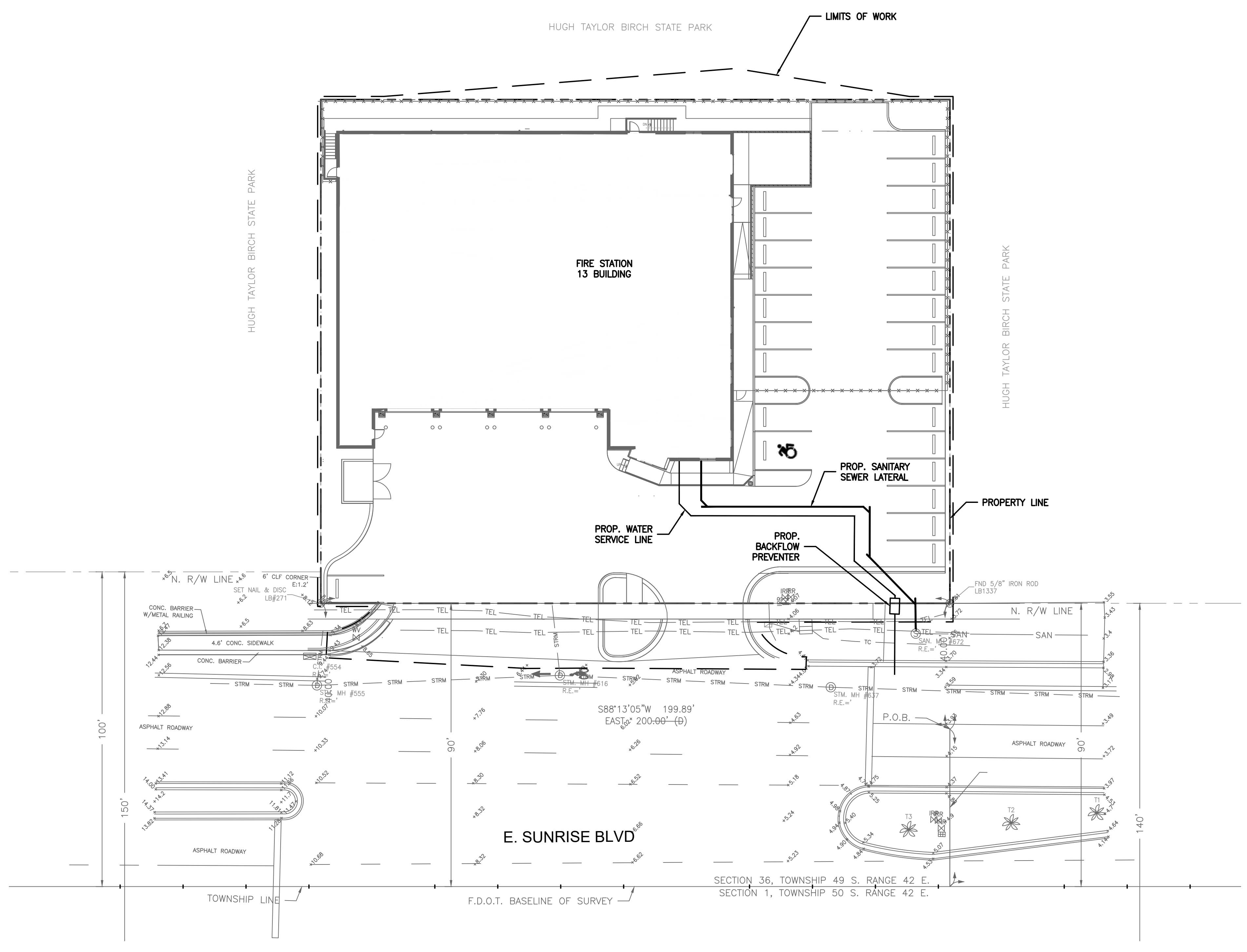
NO.	DATE	BY	CHK'D	DESCRIPTION
1	7/24/2025	V.P.	M.V.	30% SUBMITTAL

PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
PROPOSED WATER AND SEWER PLAN
2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304

SHEET NO. 6	OF 13
C-06	
TOTAL: 13	
CAD FILE: C06-SSW.dwg	
DRAWING FILE NO.	

WATER & SEWER NOTES

1. THE UTILITY PROVIDING WATER SERVICE TO THIS PROJECT IS THE CITY OF FORT LAUDERDALE, FLORIDA.
2. ALL TRENCHING, PIPE-LAYING, BACKFILL, PRESSURE TESTING AND DISINFECTING MUST COMPLY WITH THE CITY OF FORT LAUDERDALE SPECIFICATIONS.
3. ALL CONNECTIONS TO EXISTING MAINS SHALL BE UNDER THE DIRECTION OF THE CITY OF FORT LAUDERDALE COMMUNITY DEVELOPMENT DEPARTMENT - ENGINEERING INSPECTOR.
4. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).

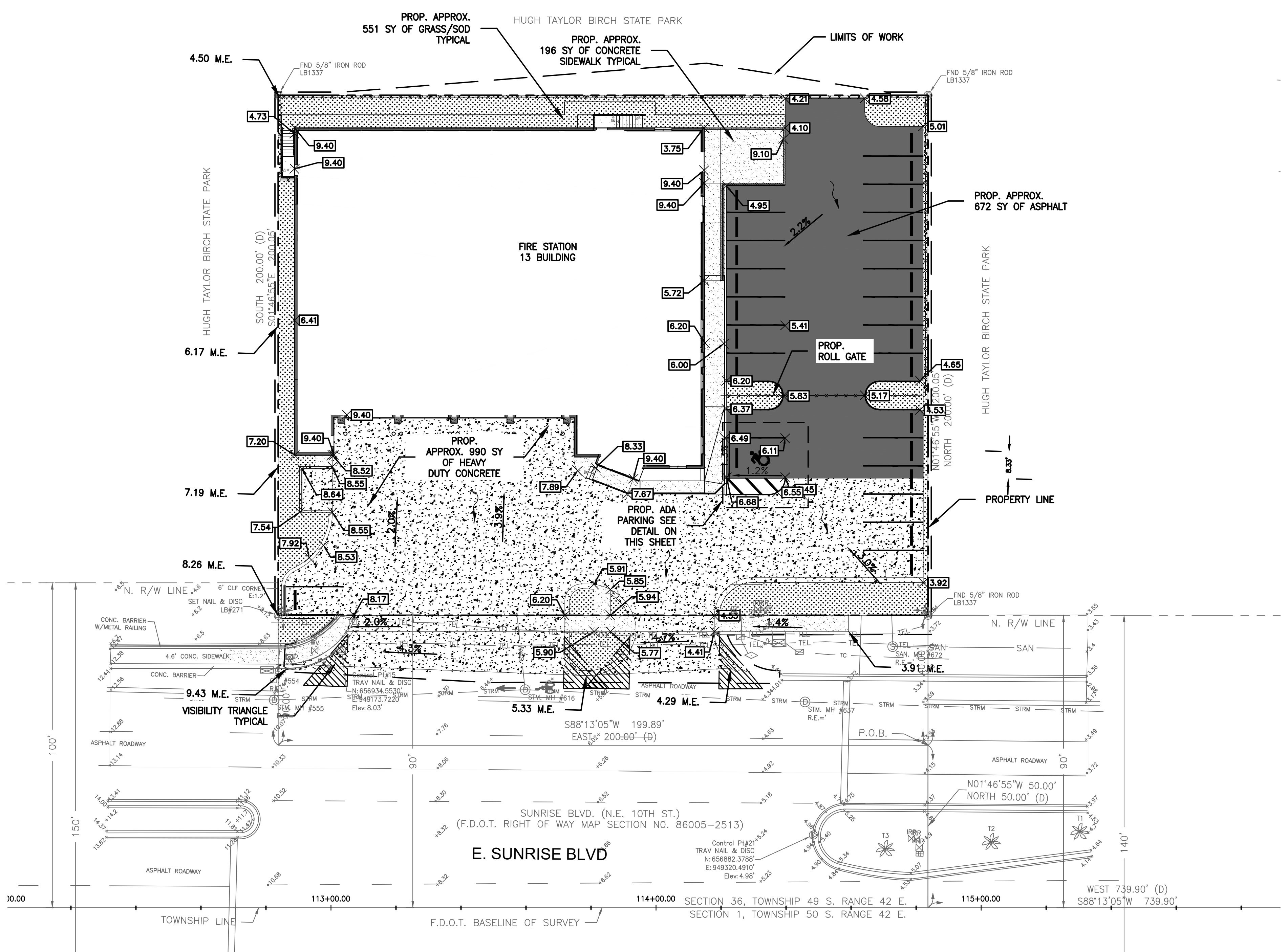
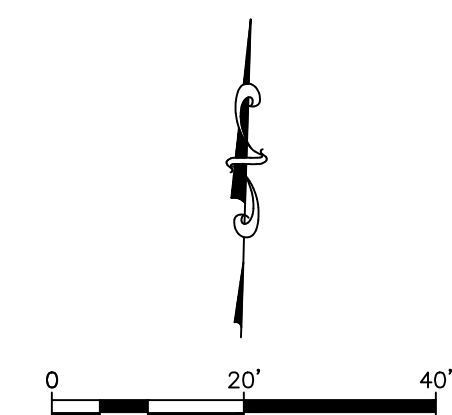


PROPOSED WATER & SEWER PLAN
SCALE: 1" = 20'

NOTE: THE UNDERGROUND UTILITIES DICPICTED HEREON IS BASED ON SUBSURFACE UTILITY DESIGNATIONS BY RITZEL-MASON AND LOCATED BY CRAVEN THOMPSON & ASSOCIATES.

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PRELIMINARY PLAN
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DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



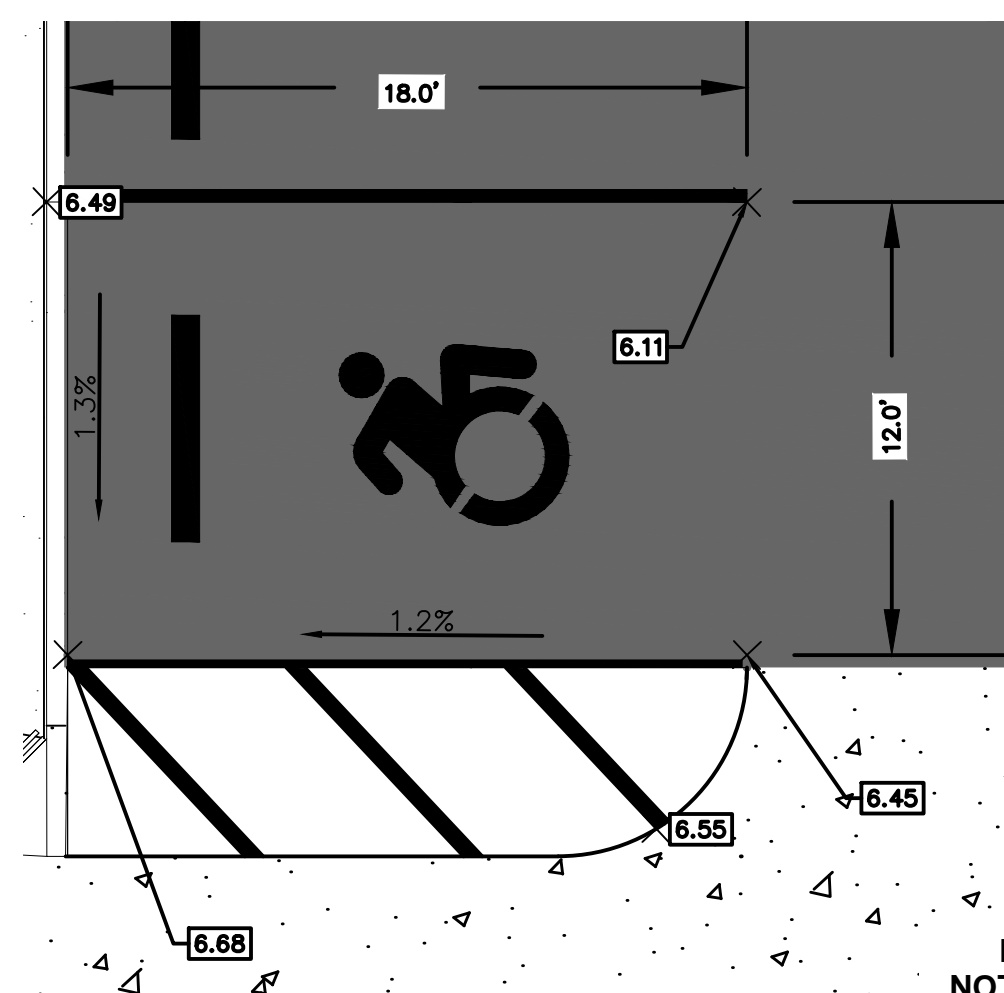
PROPOSED GRADING AND PAVING PLAN
SCALE: 1" = 20'

PAVING SCOPE OF WORK:

1. INSTALL APPROX. 196 SY OF CONCRETE SIDEWALK.
2. INSTALL APPROX. 990 SY OF HEAVY DUTY CONCRETE.
3. INSTALL APPROX. 672 SY OF ASPHALT PAVEMENT.
4. INSTALL APPROX. 433 SY OF SOD/GRASS.

GRADING & PAVING NOTES:

1. ALL EXISTING INFORMATION SHOWN IS BASED ON SURVEY DATA PROVIDED BY BY CRAVEN THOMPSON & ASSOCIATES, INC. DATED 07-14-2020, UNLESS OTHERWISE NOTED.
2. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
3. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH FDOT SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
5. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE NOTED.
6. ELEVATION SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
7. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
8. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE PLANS FOR PLANTING AREAS AND RELATED REQUIREMENTS.



ADA DETAIL
SCALE: NTS

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

Sunshine 811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH ATLANTIC VERTICAL DATUM OF 1988. NAVD '88 + 1.51' = NGVD '29 ELEVATION

NOTE: THE UNDERGROUND UTILITIES DICPICTED HEREON IS BASED ON SUBSURFACE UTILITY DESIGNATIONS BY RITZEL-MASON AND LOCATED BY CRAVEN THOMPSON & ASSOCIATES.

DATE: 07/10/2025	DESIGNED BY: SCALE: D.M.	CHECKED BY: M.V.	FIELD BOOK:
DRAWN BY: V.P.			

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

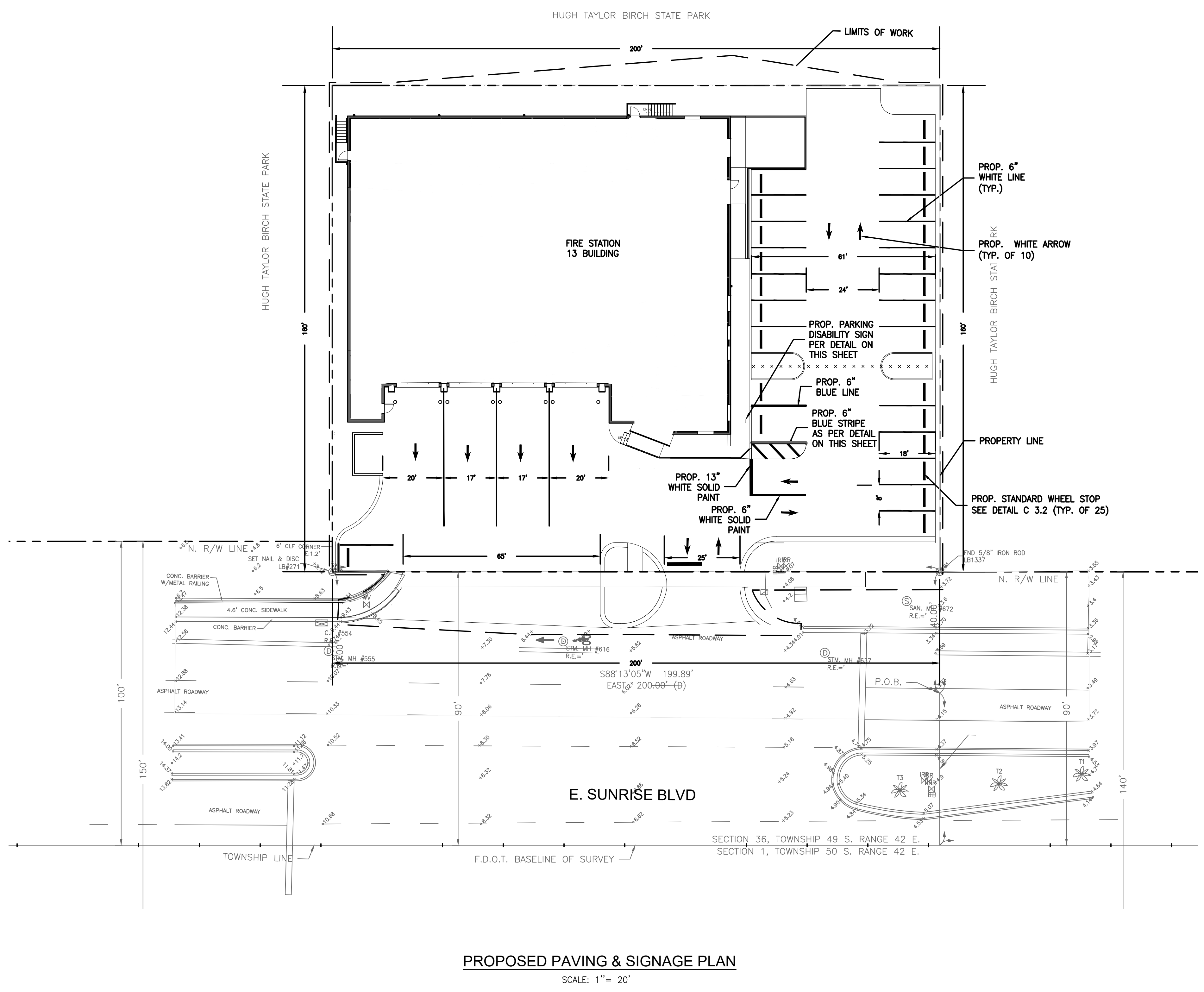
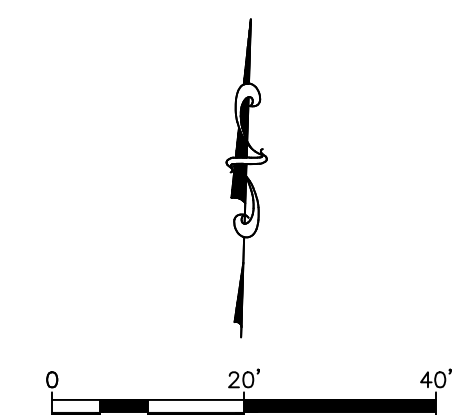
NO.	DATE	BY	DESCRIPTION
1	7/24/2025	V.P.	30% SUBMITTAL

PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
PROPOSED GRADING & PAVING PLAN
2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304

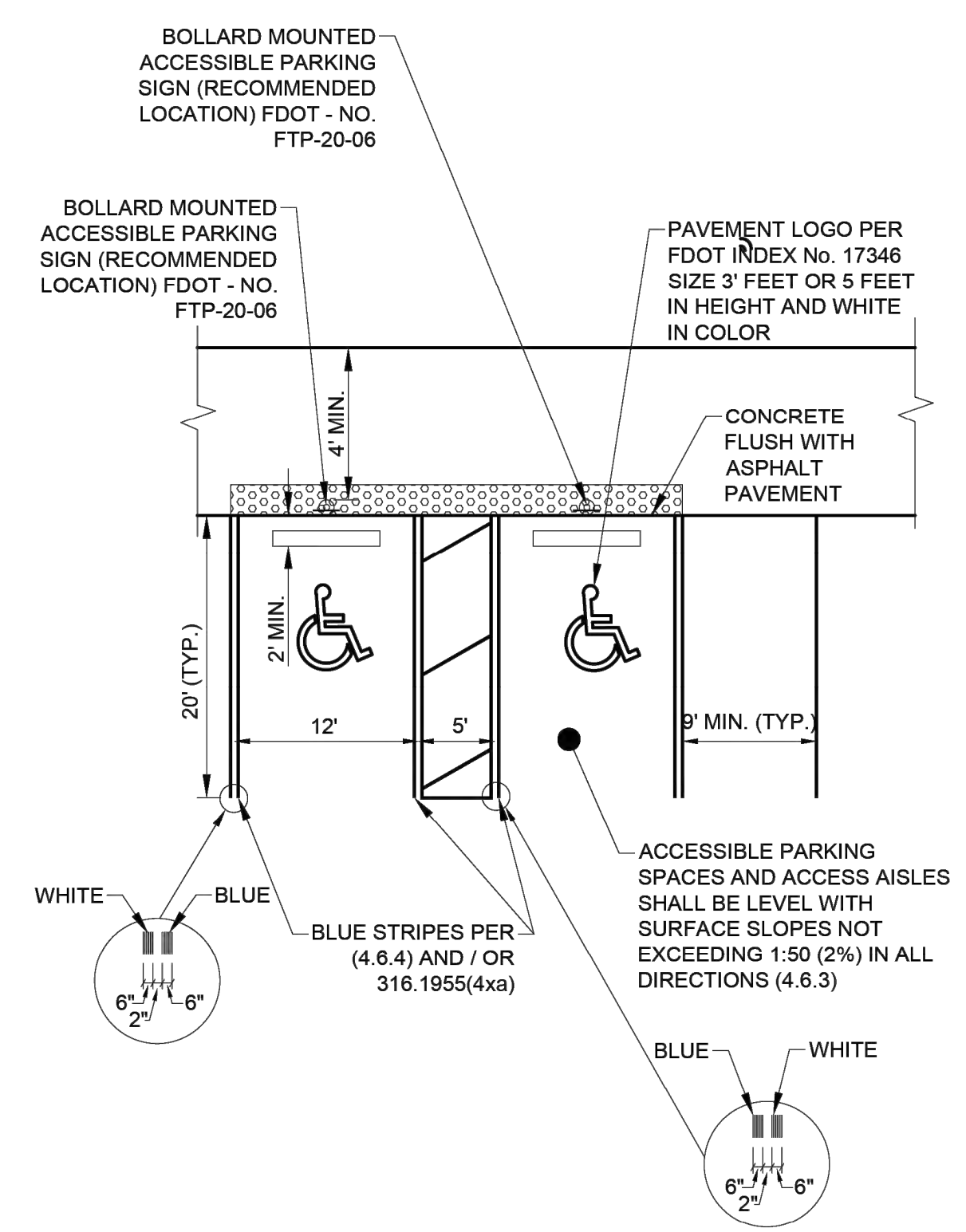
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TOTAL: 13	
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DRAWING FILE NO.	

NO.	DATE	BY	DESCRIPTION
1	7/24/2025	V.P.	30% SUBMITTAL

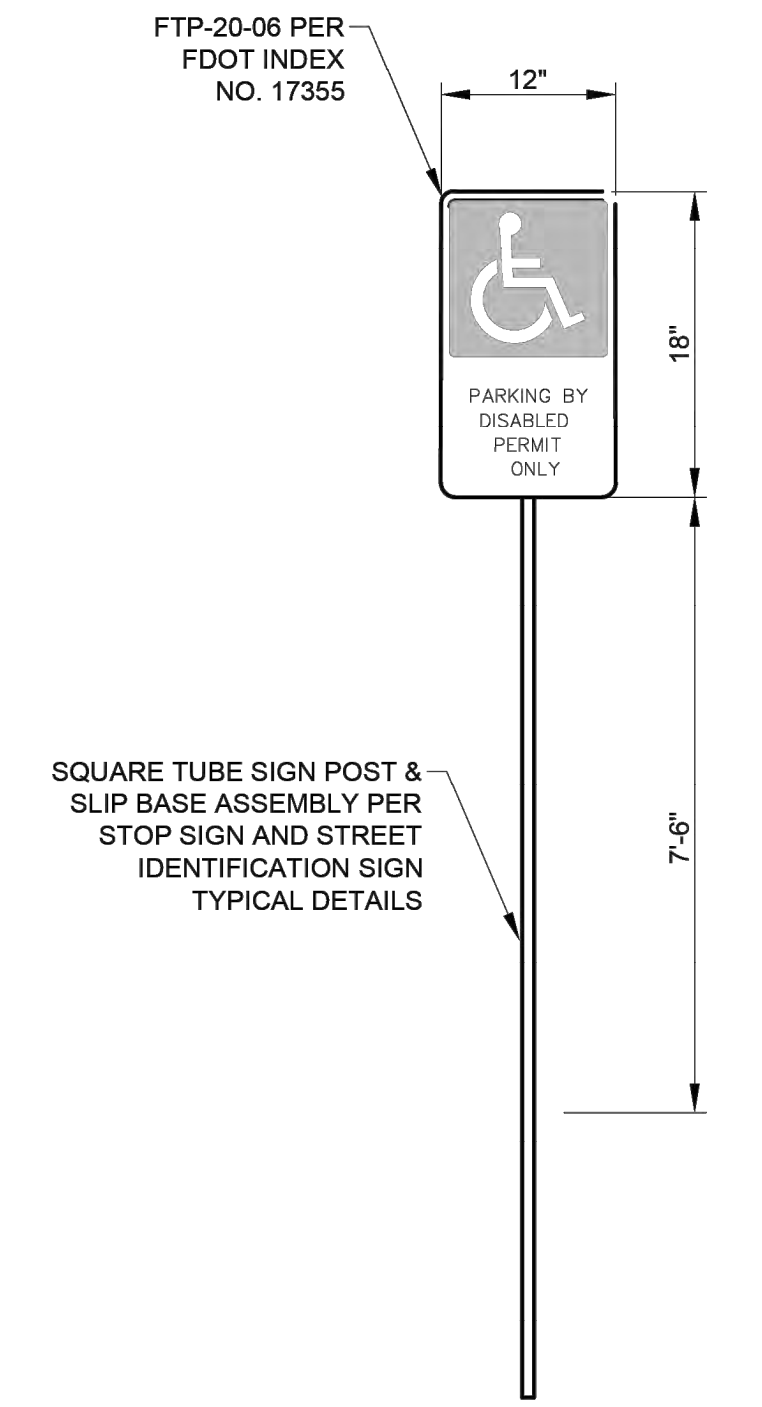
PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
SIGNAGE PLAN
2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304



PROPOSED PAVING & SIGNAGE PLAN
SCALE: 1" = 20'

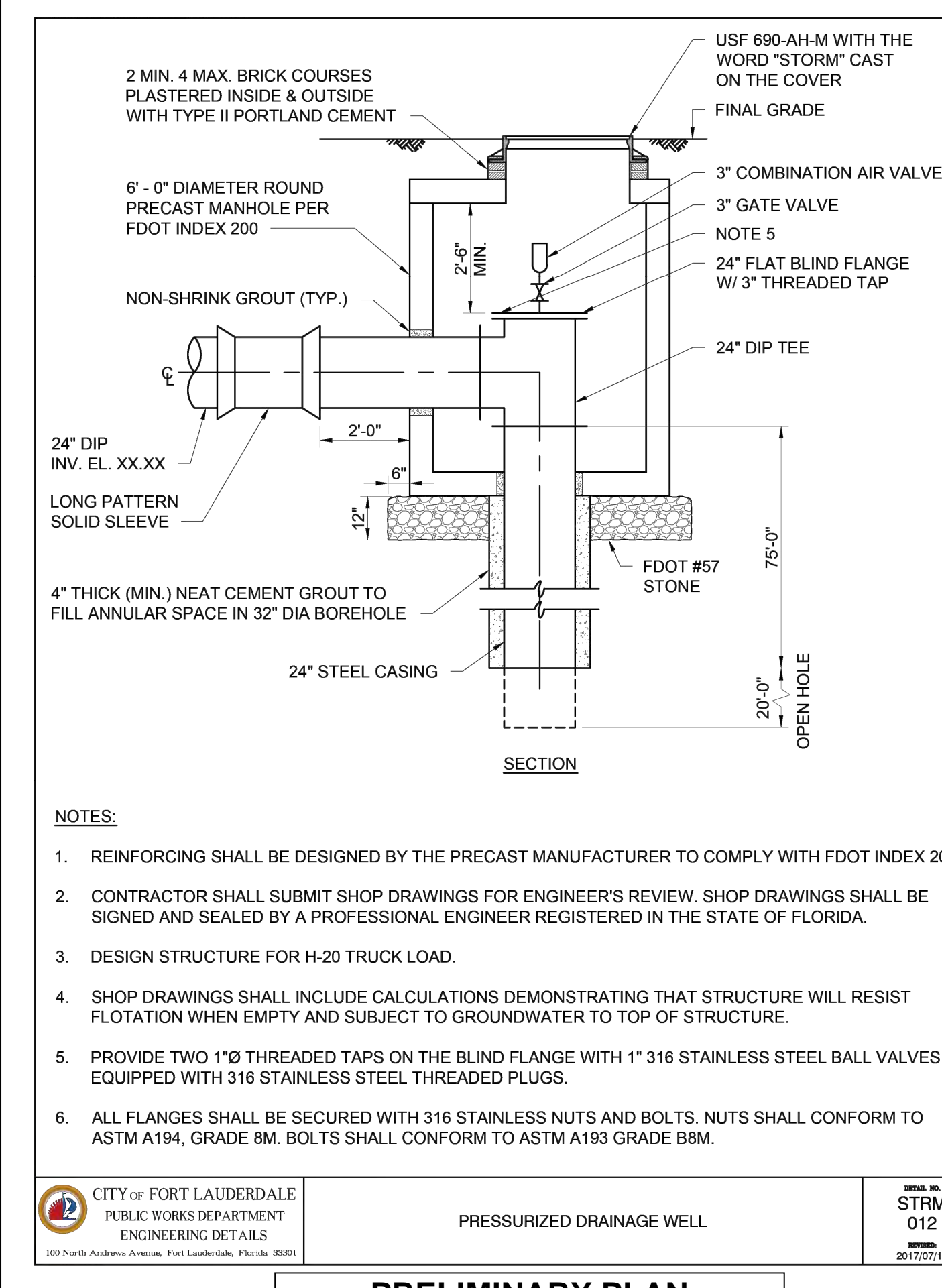
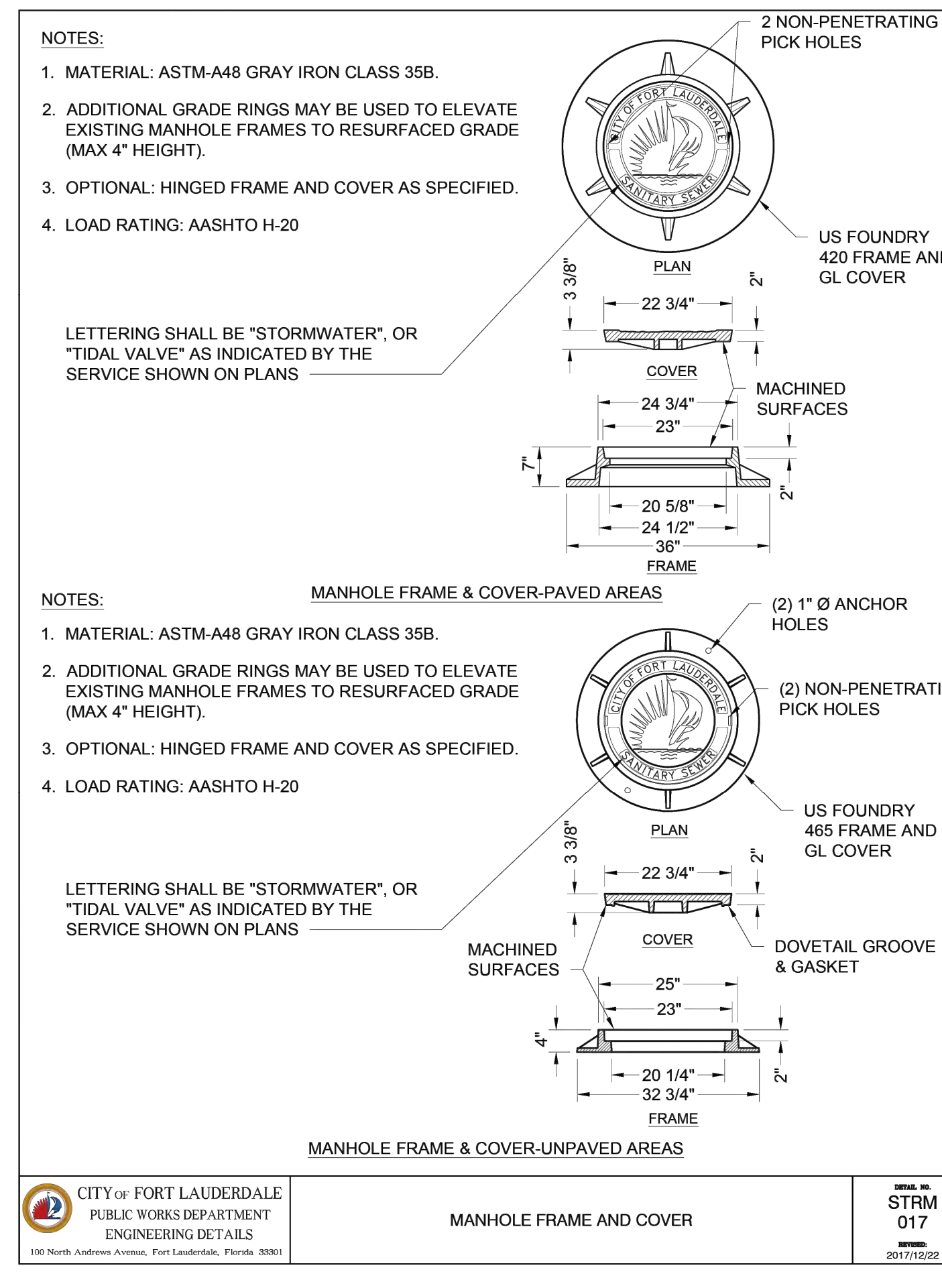
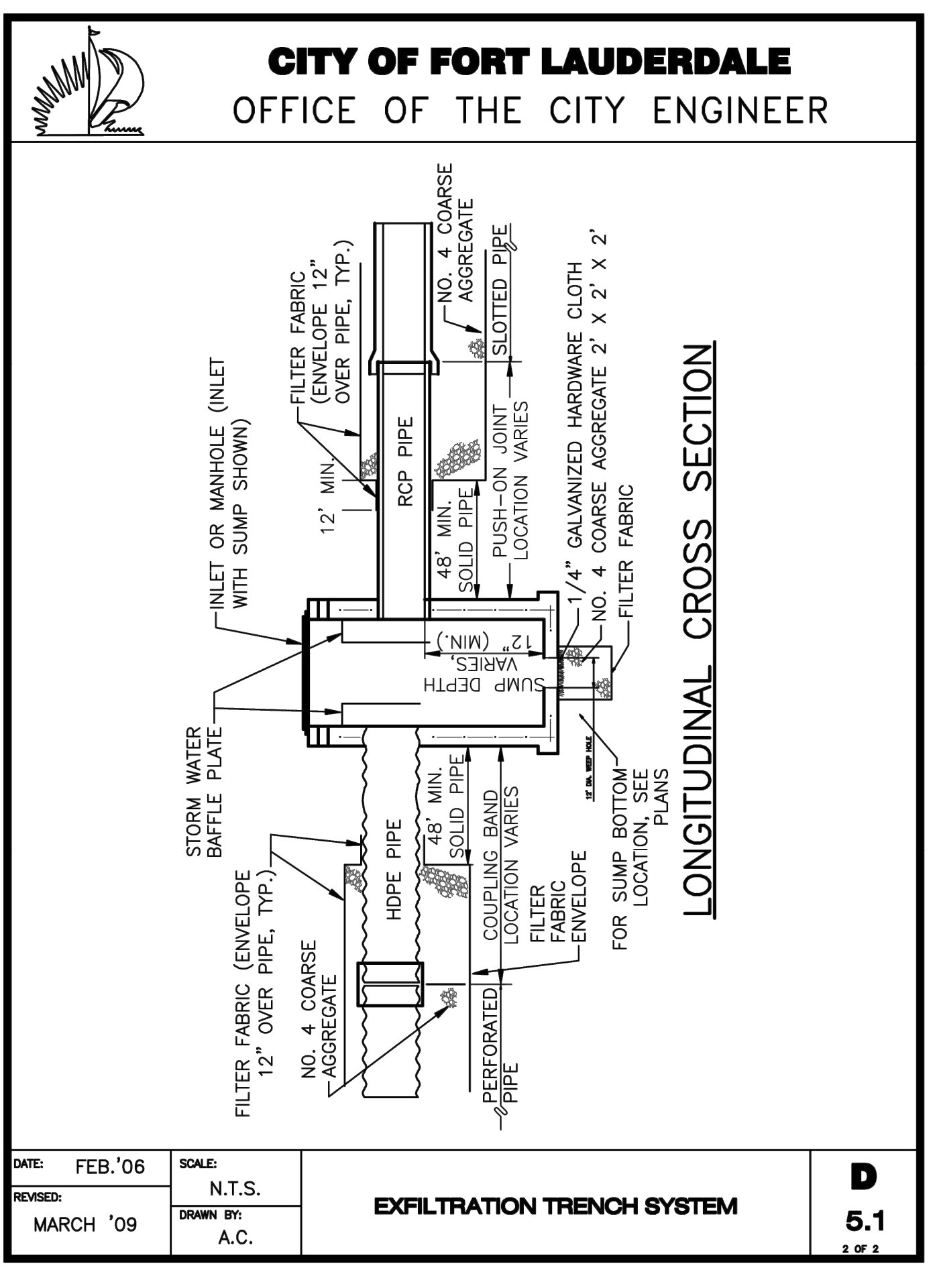
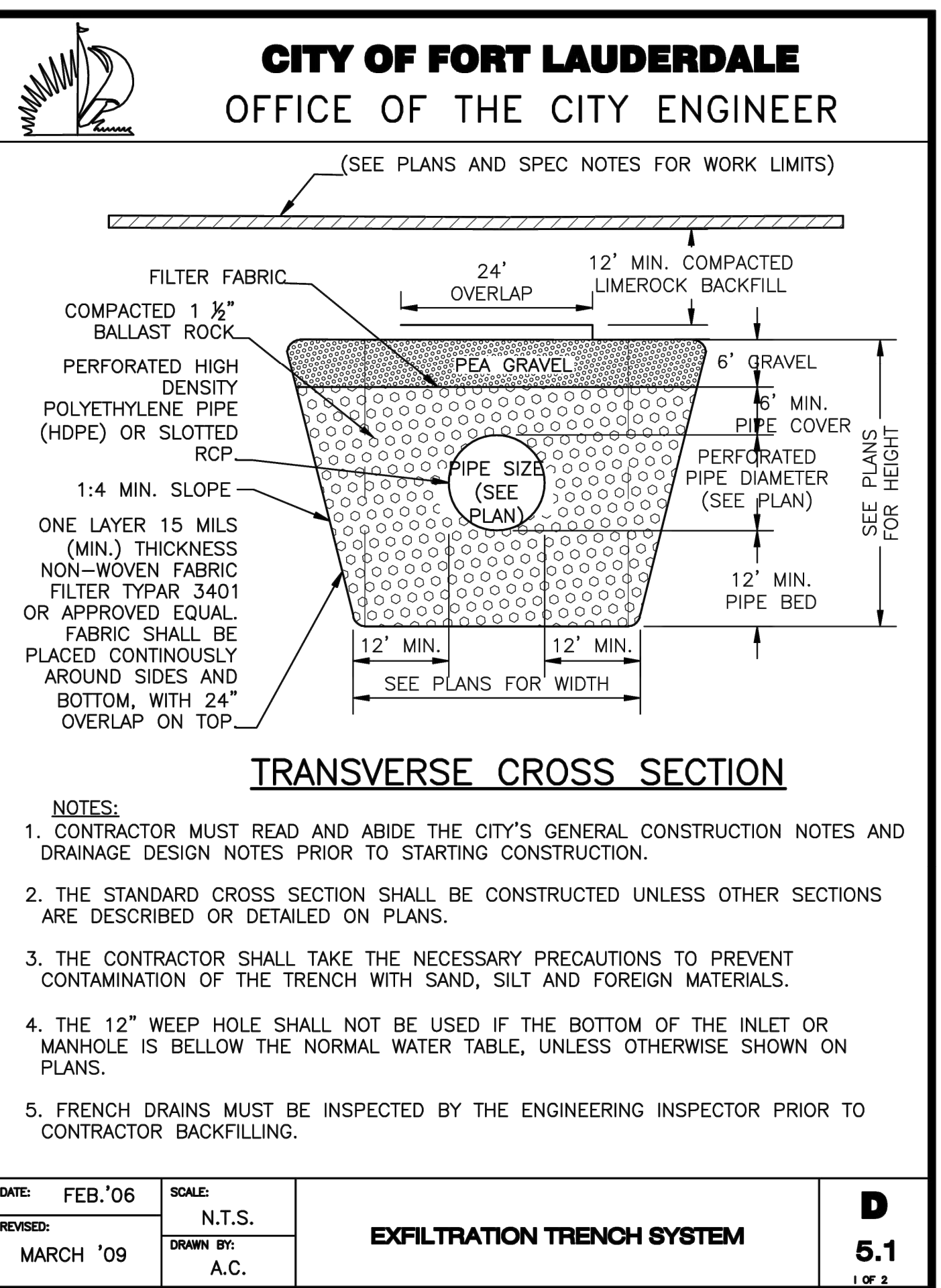
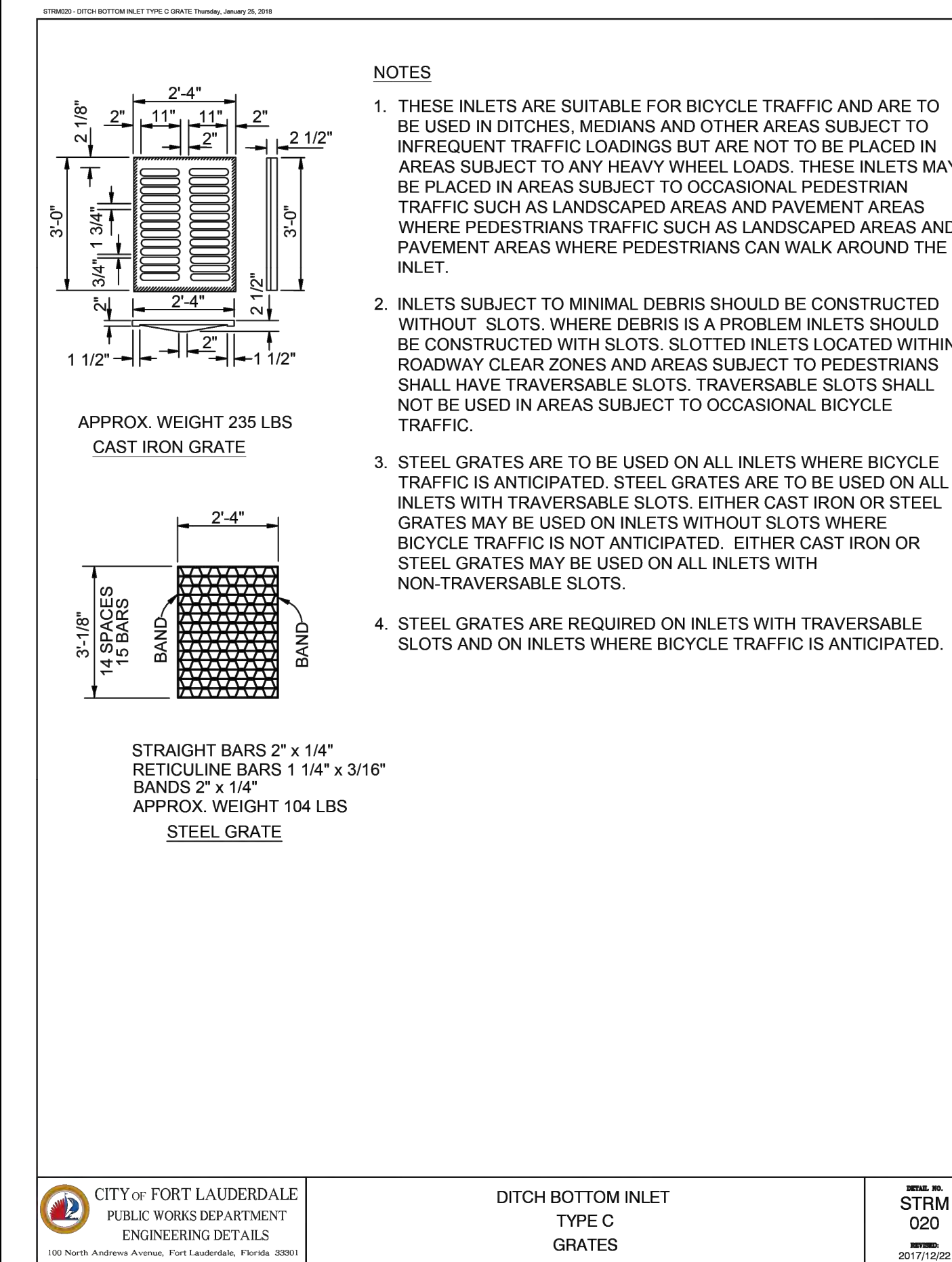
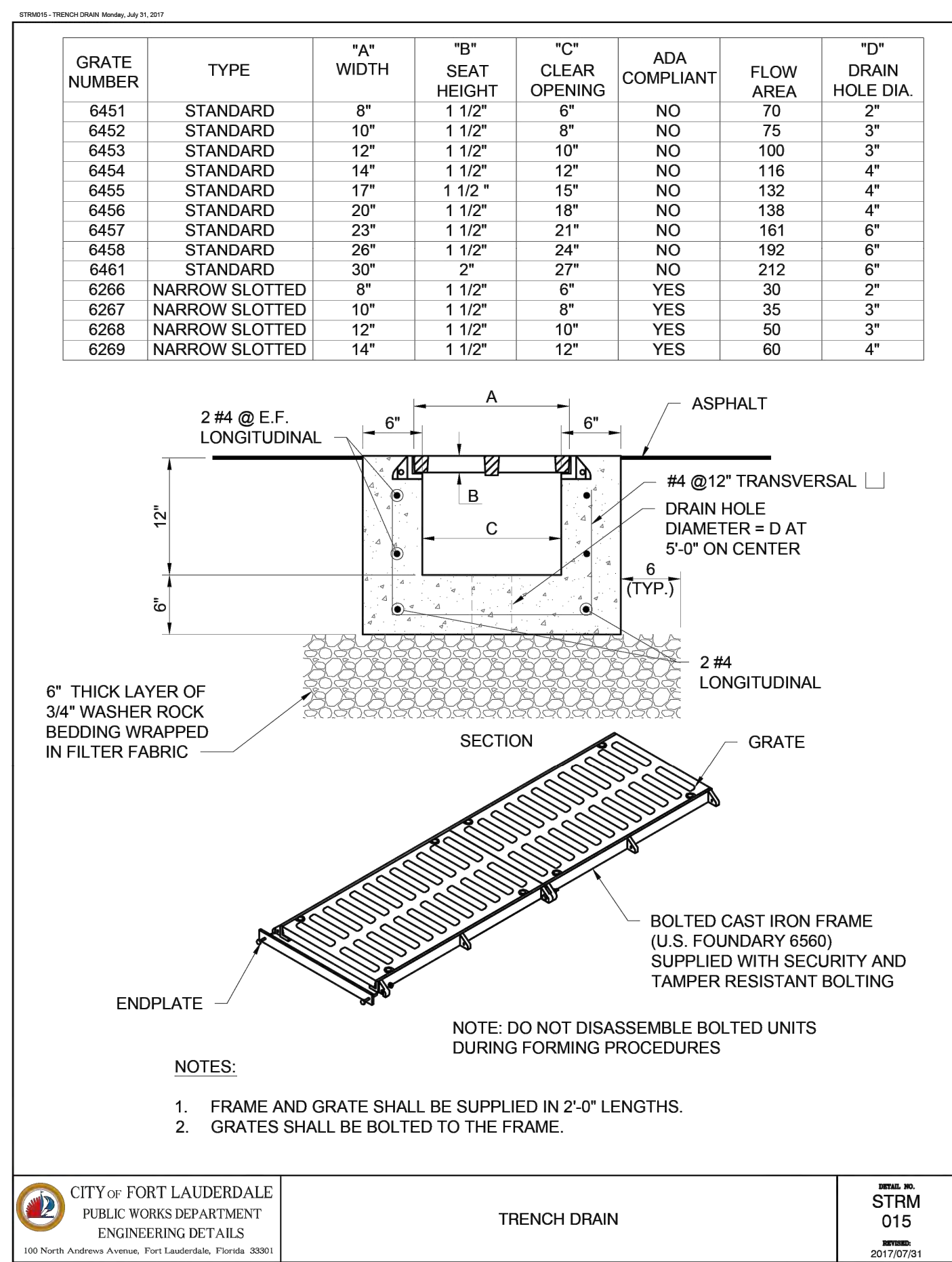
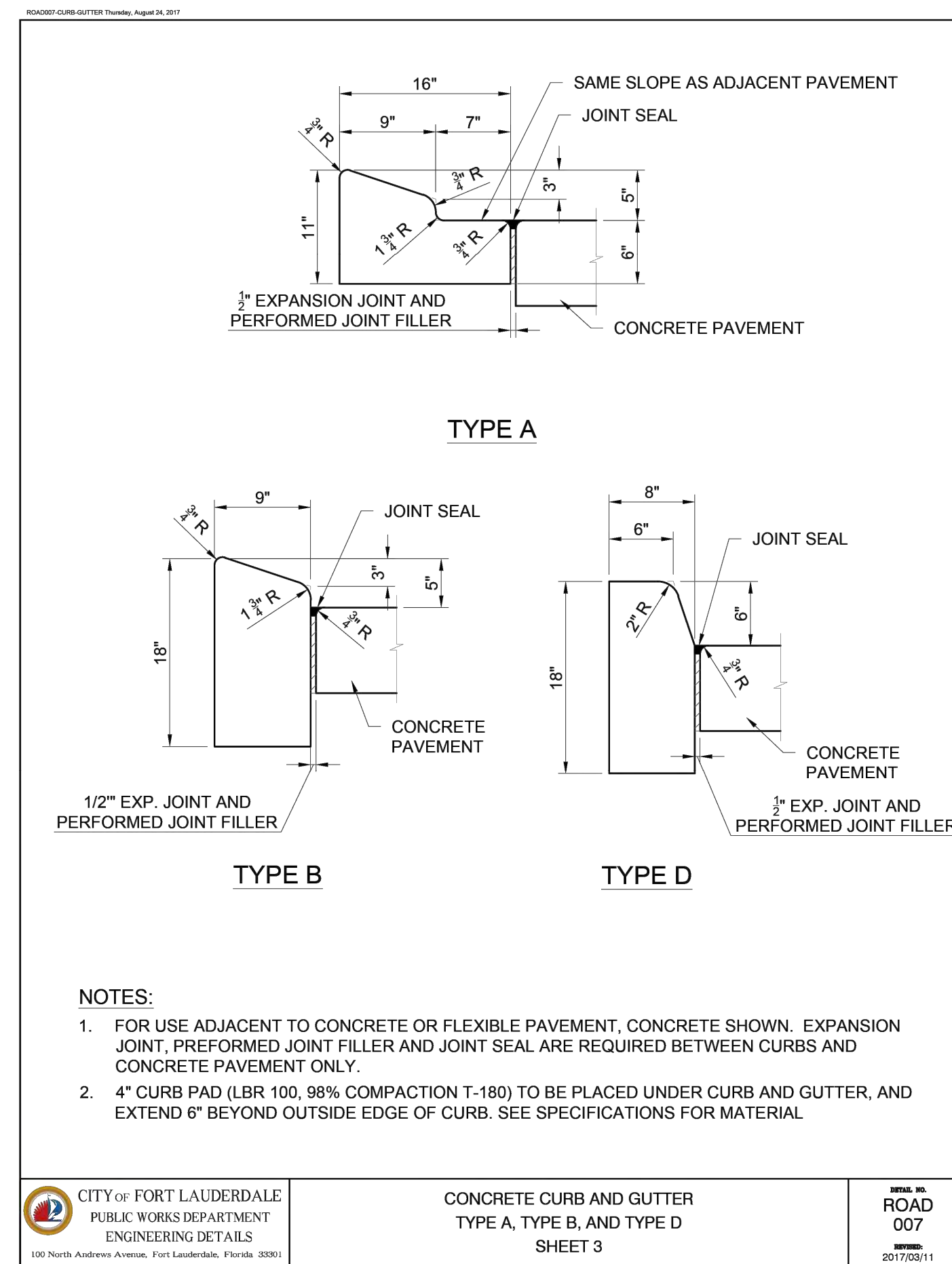
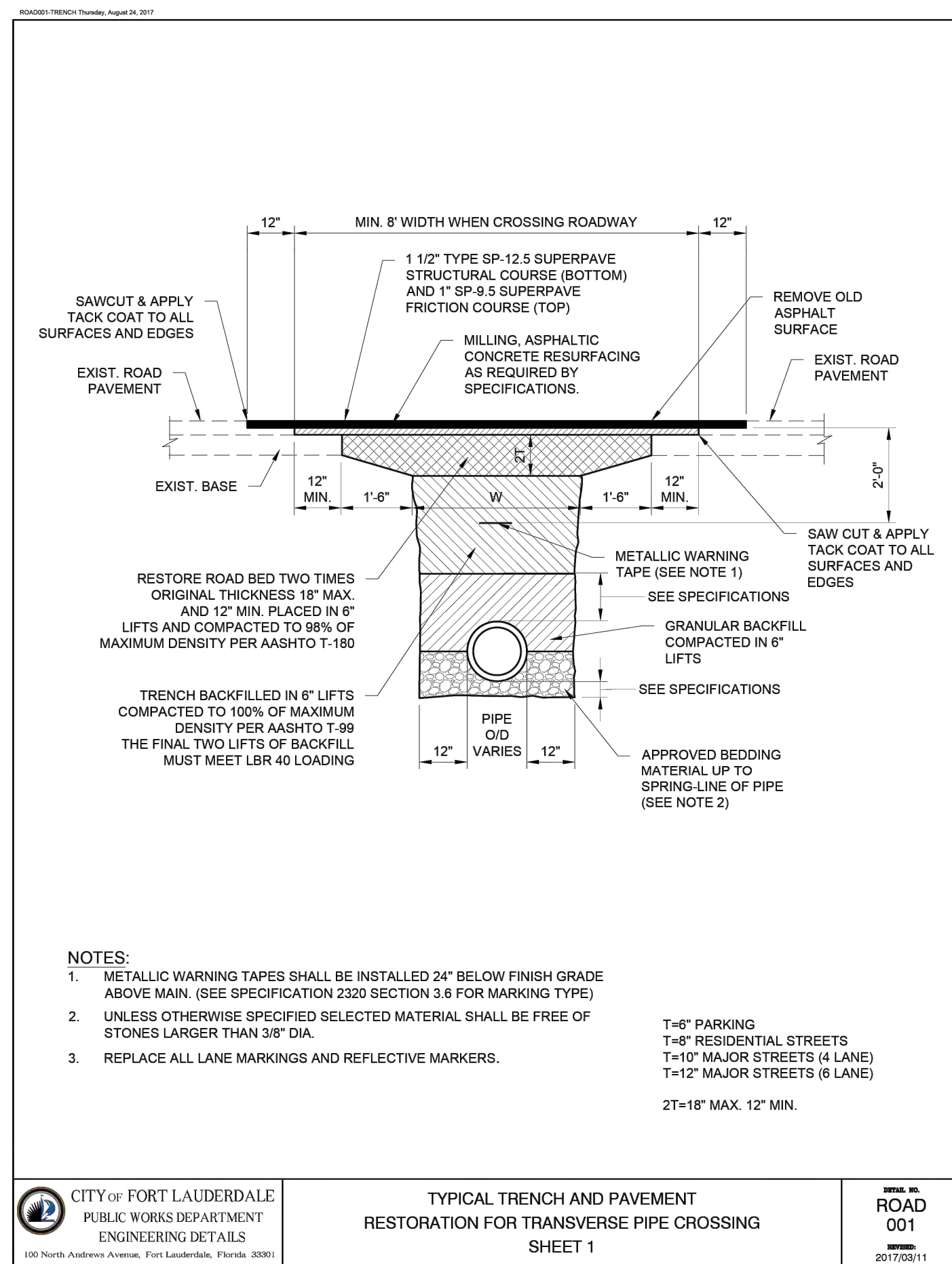


ACCESSIBLE PARKING SPACE COMPLYING WITH FLORIDA AND ADA REQUIREMENTS
SCALE: N.T.S.



ACCESSIBLE PARKING SIGN
SCALE: N.T.S.
DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
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CES CONSULTANTS

DATE: 07/10/2025
DRAWN BY: V.P.
DESIGNED BY: D.M.
CHECKED BY: M.V.
FIELD BOOK:

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

NO.	DATE	BY	CHK'D	DESCRIPTION
1	7/24/2025	V.P.	M.V.	30% SUBMITTAL

PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
CIVIL STANDARD DETAILS
2871 E SUNRISE BLVD., FORT LAUDERDALE, FL 33304

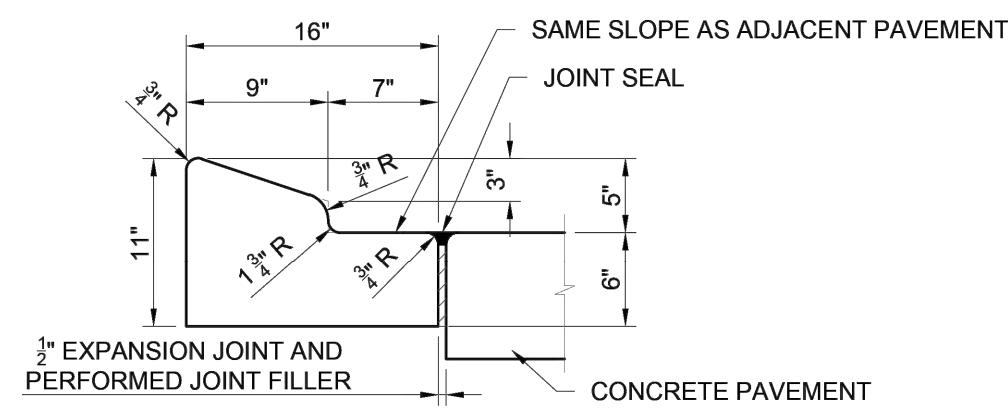
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C-09

TOTAL: 13
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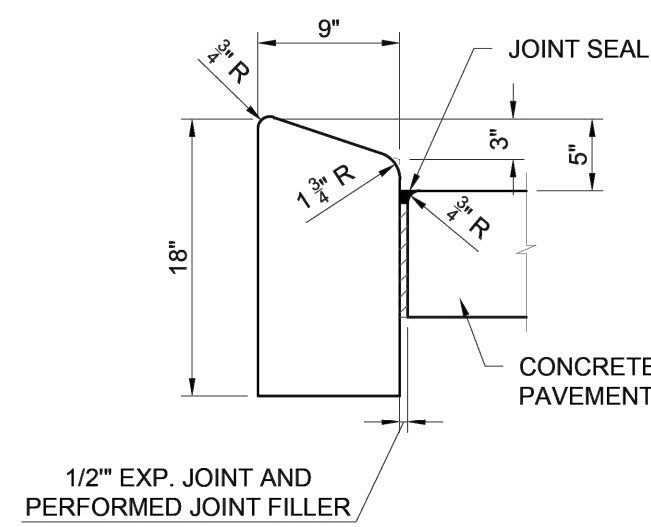
DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

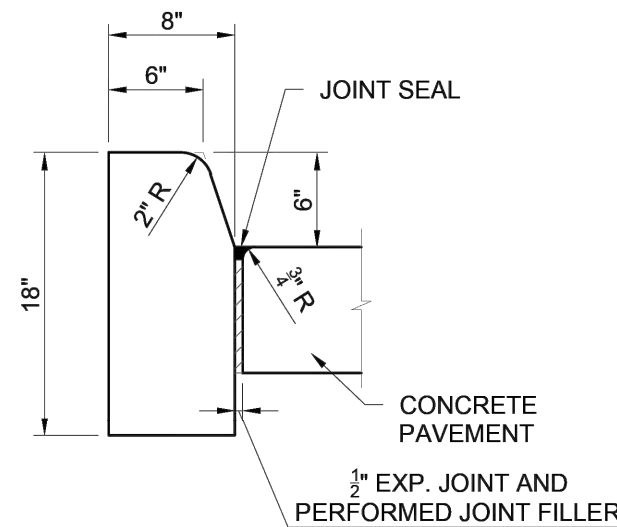
ROADWAY CURB AND GUTTER, August 24, 2017



TYPE A



TYPE B



TYPE D

NOTES:

- FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT, CONCRETE SHOWN. EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.
- 4" CURB PAD (LBR 100, 98% COMPACTION T-180) TO BE PLACED UNDER CURB AND GUTTER, AND EXTEND 6" BEYOND OUTSIDE EDGE OF CURB. SEE SPECIFICATIONS FOR MATERIAL.

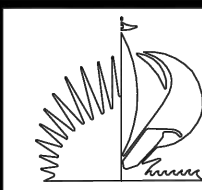
CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

CONCRETE CURB AND GUTTER
TYPE A, TYPE B, AND TYPE D
SHEET 3

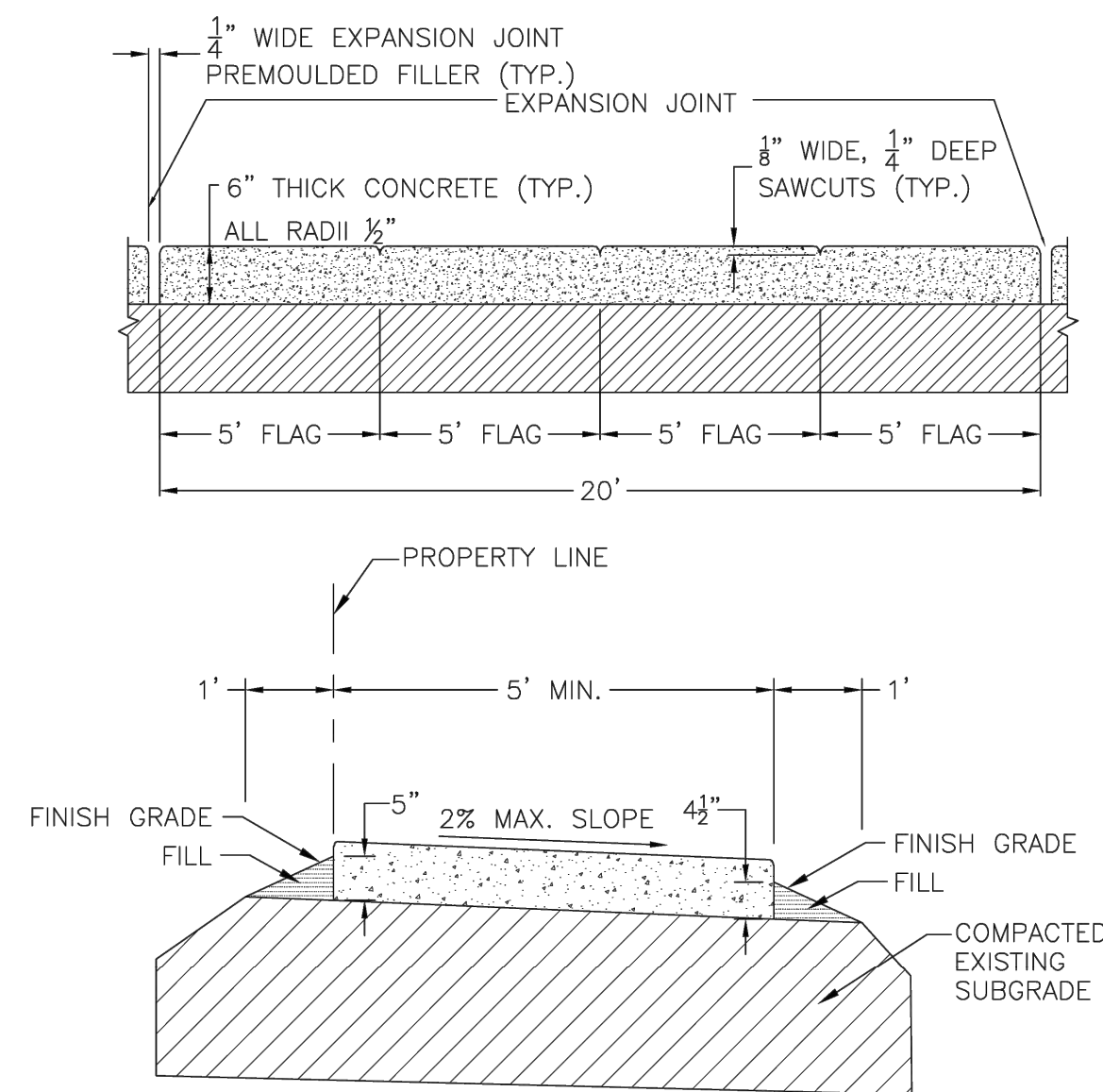
DATE: JAN. '82
REVISED: OCT. 2015
SCALE: N.T.S.
DRAWN BY:

SIDEWALK CONSTRUCTION

C
2.1



CITY OF FORT LAUDERDALE
OFFICE OF THE CITY ENGINEER



NOTES:

- A MINIMUM OF 6" THICK SIDEWALK IS REQUIRED ON ALL SIDEWALK APPLICATIONS.
- CONCRETE STRENGTH SHALL BE 3000 P.S.I.
- THE USE OF REINFORCEMENT WILL NOT BE PERMITTED.
- SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA).

DATE: JAN. '82
REVISED: OCT. 2015
SCALE: N.T.S.
DRAWN BY:

SIDEWALK CONSTRUCTION

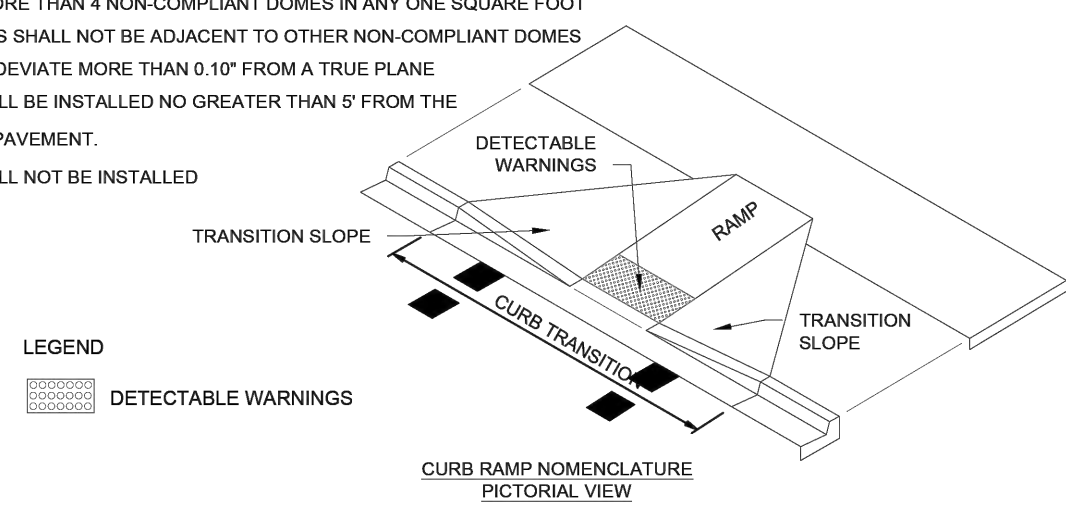
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ROADWAY CURB AND GUTTER, August 24, 2017

GENERAL NOTES

- SIDEWALK CURB RAMPS SHALL BE CONSTRUCTED AT LOCATIONS THAT WILL PROVIDE CONTINUOUS UNOBSTRUCTED PEDESTRIAN CIRCULATION PATH TO PEDESTRIAN AREAS, ELEMENTS AND FACILITIES WITHIN THE RIGHT OF WAY AND TO ACCESSIBLE PEDESTRIAN ROUTES ON ADJACENT SITES. CURBED FACILITIES WITH SIDEWALKS AND THOSE WITHOUT SIDEWALKS ARE TO HAVE CURB RAMPS CONSTRUCTED FOR ALL INTERSECTIONS AND TURNOUTS WITH CURBED RETURNS. TO ACCOMMODATE CURB RAMPS, PARTIAL CURB RETURNS ARE TO EXTEND TO THE LIMITS PRESCRIBED IN INDEX NO. 515. RAMPS CONSTRUCTED AT LOCATIONS WITHOUT SIDEWALKS ARE TO HAVE A LANDING CONSTRUCTED AT THE TOP OF EACH RAMP. SEE LANDINGS FOR CURB RAMPS WITHOUT SIDEWALKS.
- WHEN ALTERING EXISTING PEDESTRIAN FACILITIES, WHERE EXISTING RESTRICTED CONDITIONS PRECLUDE THE ACCOMMODATION OF A RAMP SLOPE OF 1:12, A RAMP SLOPE BETWEEN 1:12 AND 1:10 IS PERMITTED FOR A RISE OF 6" MAXIMUM. WHERE COMPLIANCE WITH THE REQUIREMENTS FOR CROSS SLOPE CANNOT BE FULLY MET, THE MINIMUM FEASIBLE CROSS SLOPE SHALL BE PROVIDED. RAMP SLOPES ARE NOT REQUIRED TO EXCEED 15' IN LENGTH.
- IF SIDEWALK CURB RAMPS ARE LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, THEN PROVIDE TRANSITION SLOPES TO THE RAMP. OTHERWISE A SIDEWALK CURB MAY BE REQUIRED.
- ALL SIDEWALKS, RAMPS, AND LANDINGS WITH A CROSS SLOPE OF 0.02 SHOWN IN THIS INDEX ARE 0.02 MAXIMUM. ALL RAMP SLOPES SHOWN IN THIS INDEX AS 1:12 ARE 1:12 MAXIMUM. LANDINGS SHALL HAVE SLOPES LESS THAN OR EQUAL TO 0.02 IN ANY DIRECTION.
- GRADE BREAKS AT THE TOP AND BOTTOM OF RAMPS SHALL BE PARALLEL TO EACH OTHER AND PERPENDICULAR TO THE DIRECTION OF THE RAMP SLOPE.
- WHERE A SIDEWALK CURB RAMP IS CONSTRUCTED WITHIN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR CURBS AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITION OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB AND GUTTER IS LESS THAN 5' LONG. EXISTING SIDEWALKS SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5' LONG. FOR CONCRETE SIDEWALK DETAILS REFER TO INDEX 310.
- SIDEWALK CURB RAMP ALPHA IDENTIFICATIONS ARE FOR REFERENCE PURPOSES (PLANS, PERMITS, ETC.). ALPHA IDENTIFICATIONS CR1 AND CR2 WERE INTENTIONALLY OMITTED.
- DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE RAMP AND TO A DEPTH OF 2". DETECTABLE WARNINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATION SECTION S27. FOR THE LAYOUT OF DETECTABLE WARNINGS, REFER TO THE TYPICAL PLACEMENT OF DETECTABLE WARNINGS DETAILS. DETECTABLE WARNINGS SHALL NOT BE PROVIDED ON TRANSITION SLOPES.
- WHEN DETECTABLE WARNINGS ARE PLACED ON A SLOPE GREATER THAN 5%, DOMES SHALL BE ALIGNED WITH THE CENTERLINE OF THE RAMP. OTHERWISE DOMES ARE NOT REQUIRED TO BE ALIGNED.
- DETECTABLE WARNINGS SHALL BE REQUIRED ON SIDEWALKS AND SHARED USE PATHS AT:
 - INTERSECTING ROADS
 - MEDIAN CROSSINGS GREATER THAN OR EQUAL TO 6' IN WIDTH
 - RAILROAD CROSSINGS
 - SIGNALIZED DRIVEWAYS
- DETECTABLE WARNINGS - ACCEPTANCE CRITERIA:
 - COLOR AND TEXTURE SHALL BE COMPLETE AND UNIFORM
 - 90% OF INDIVIDUAL TRUNCATED DOMES SHALL BE IN
 - ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR TRANSPORTATION FACILITIES, SECTION 705
 - THERE SHALL BE NO MORE THAN 4 NON-COMPLIANT DOMES IN ANY ONE SQUARE FOOT
 - NON-COMPLIANT DOMES SHALL NOT BE ADJACENT TO OTHER NON-COMPLIANT DOMES
 - SURFACES SHALL NOT DEVIATE MORE THAN 0.10" FROM A TRUE PLANE
- DETECTABLE WARNINGS SHALL BE INSTALLED NO GREATER THAN 5' FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
- DETECTABLE WARNINGS SHALL NOT BE INSTALLED OVER GRADE BREAKS.

LEGEND
DETECTABLE WARNINGS

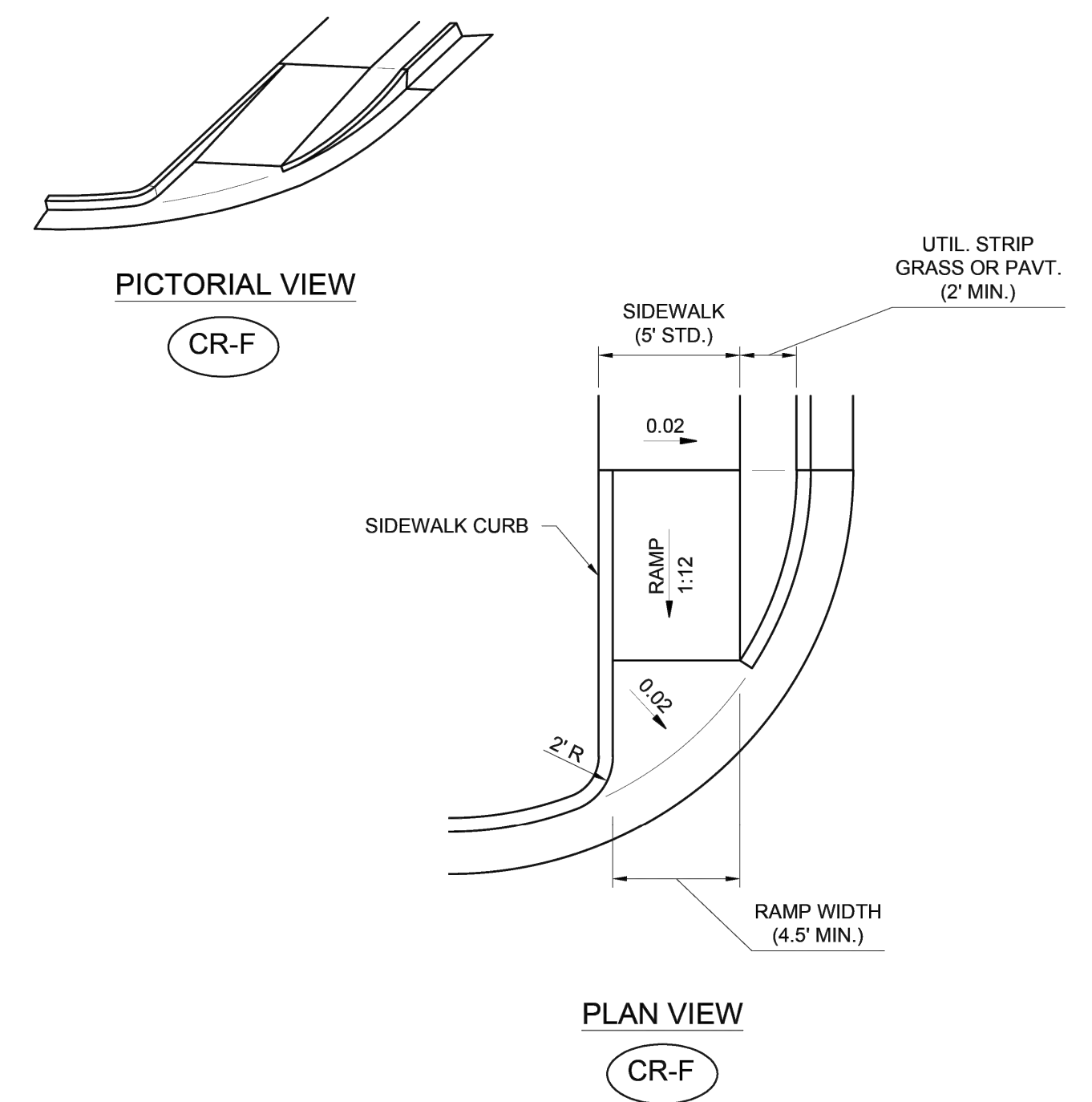


CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS

DATE: ROAD 013
2017/03/11

ROADWAY CURB AND GUTTER, August 24, 2017



DIMENSIONAL FEATURES OF SIDEWALK CURB RAMPS FOR LINEAR PEDESTRIAN TRAFFIC

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

SIDEWALK CURB RAMPS
SHEET 6

DATE: ROAD 019
2017/03/11



DATE: 07/10/2025
DRAWN BY: V.P.
DESIGNED BY: D.M.
CHECKED BY: M.V.
FIELD BOOK:

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHK'D	DESCRIPTION
1	7/24/2025	V.P.	M.V.	30% SUBMITTAL

PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
CIVIL STANDARD DETAILS
2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304

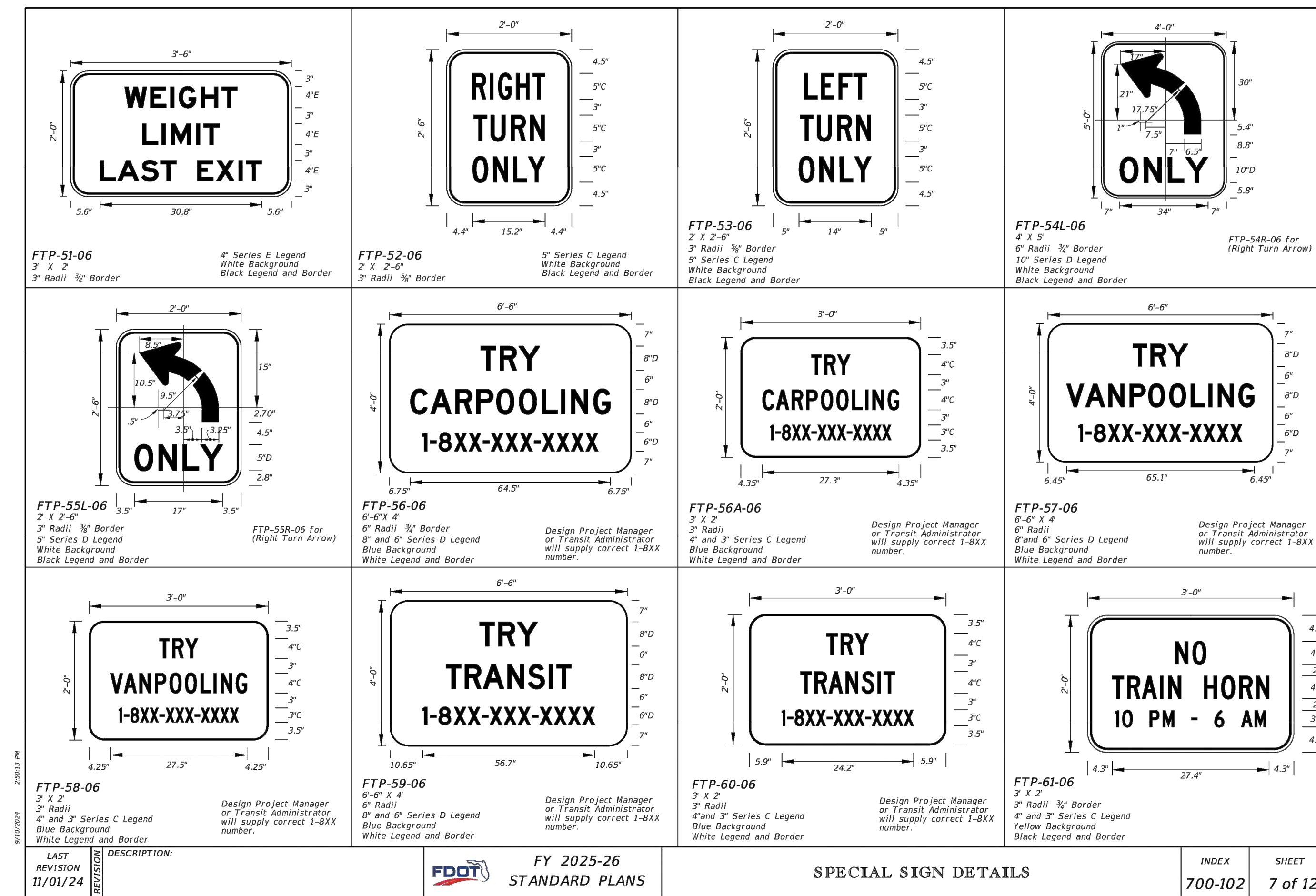
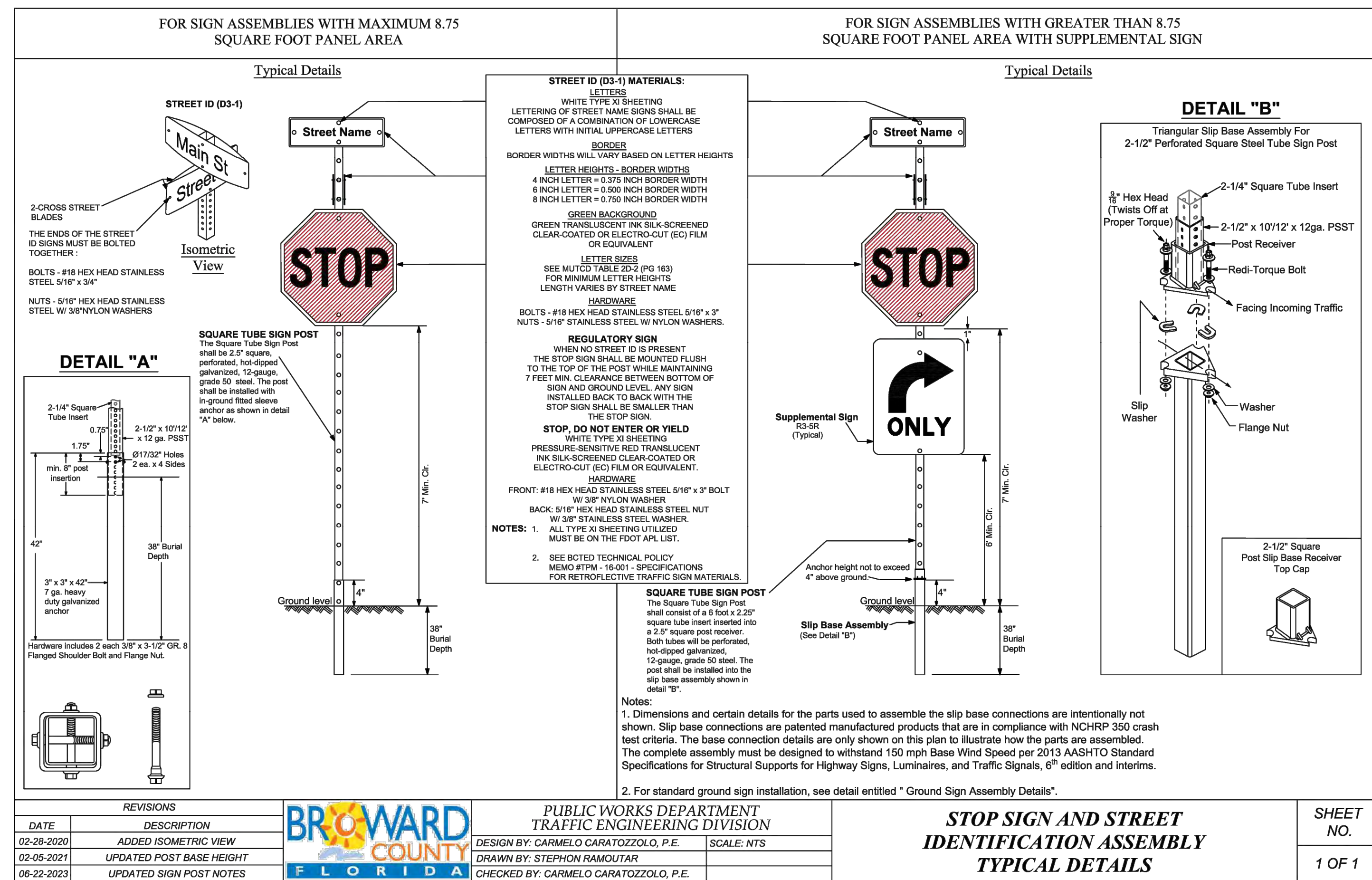
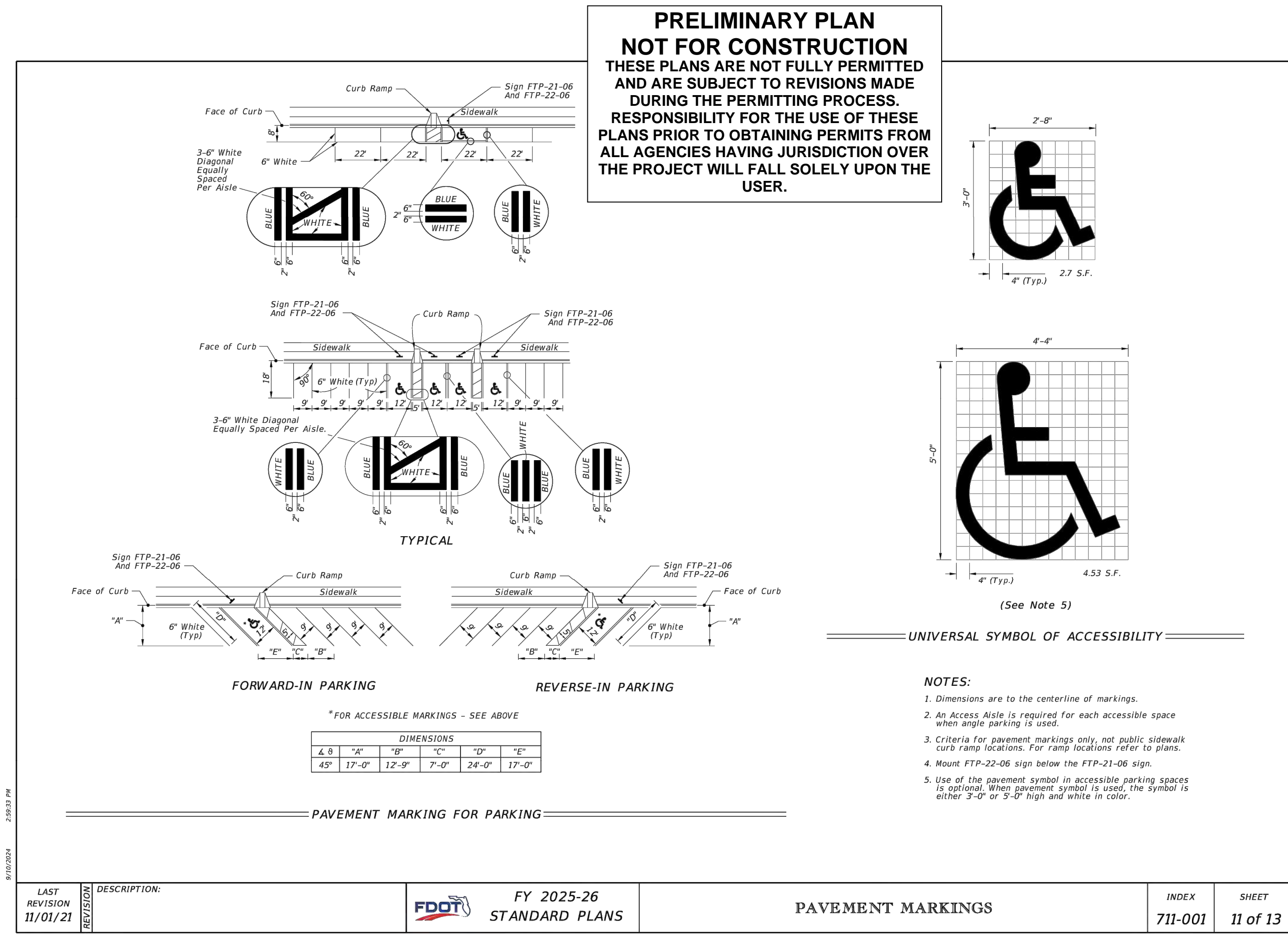
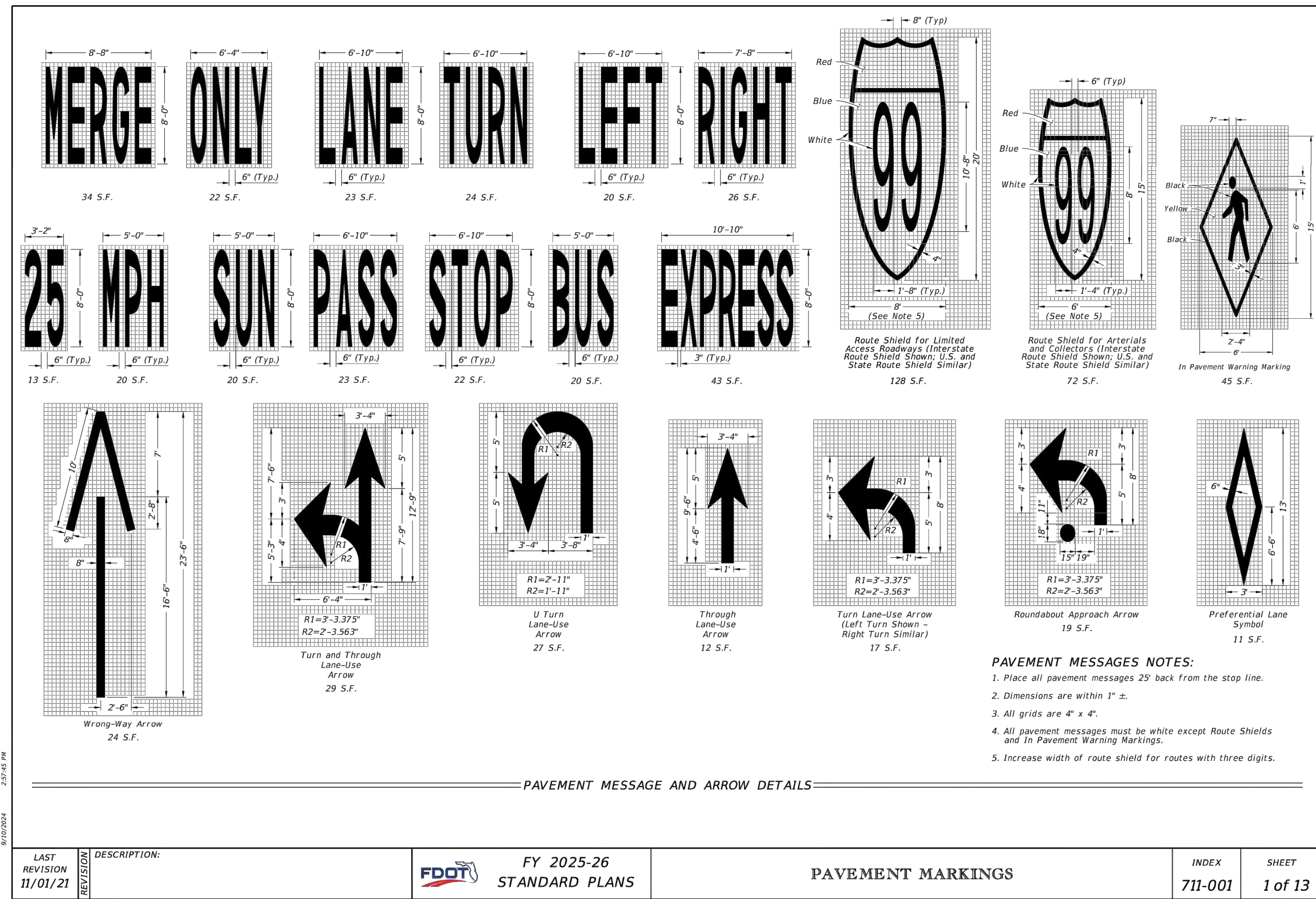
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TOTAL: 13
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C10-CIVIL STANDARD DETAILS
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DRAWING FILE NO.

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

**PRELIMINARY PLAN
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AND ARE SUBJECT TO REVISIONS MADE
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EROSION AND SEDIMENT CONTROL:

- CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION IN ORDER TO ENSURE POLLUTION PREVENTION. CONTRACTOR TO COMPLY WITH ALL LOCAL STATE AND OTHER GOVERNMENTAL ENVIRONMENTAL REGULATIONS THROUGHOUT CONSTRUCTION.
- DURING CONSTRUCTION ALL CATCH BASIN INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT AND DEBRIS FROM ENTERING THE CATCH BASIN.
- SILT FENCES SHALL BE INSTALLED AS NECESSARY TO CONTROL OR PREVENT DISCHARGE OF SEDIMENT ONTO ADJACENT UNDISTURBED AREAS, OR OFF-SITE AREAS.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN A REASONABLE PERIOD OF TIME TO ASSURE MINIMUM EROSION OF SOILS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SODDED AS SPECIFIED WITHIN 30 DAYS OF FINAL GRADING.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY CITY, COUNTY, AND STATE OF FLORIDA ON SITE INSPECTION. AT NO ADDITIONAL COST TO THE OWNER.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- BURNING OF DEBRIS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE IF IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES IF EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC. THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES. EROSION CONTROL BARRIER SHALL BE ESTABLISHED AS THE FIRST ITEM OF WORK.

CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

EROSION AND SEDIMENT CONTROL NOTES SHEET 1

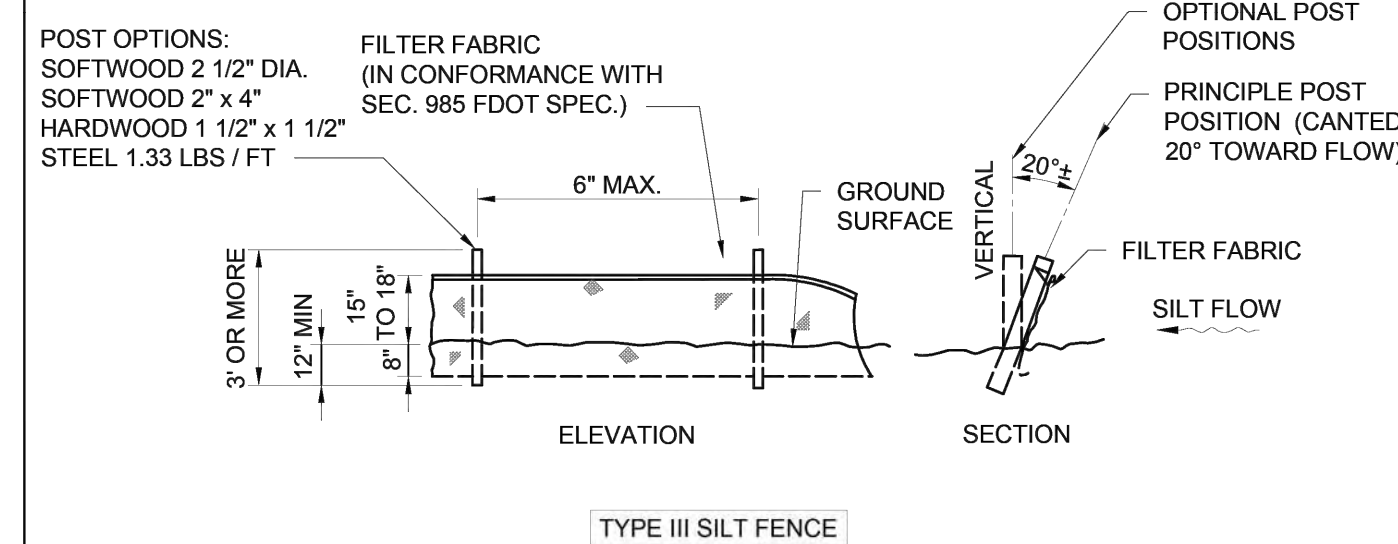
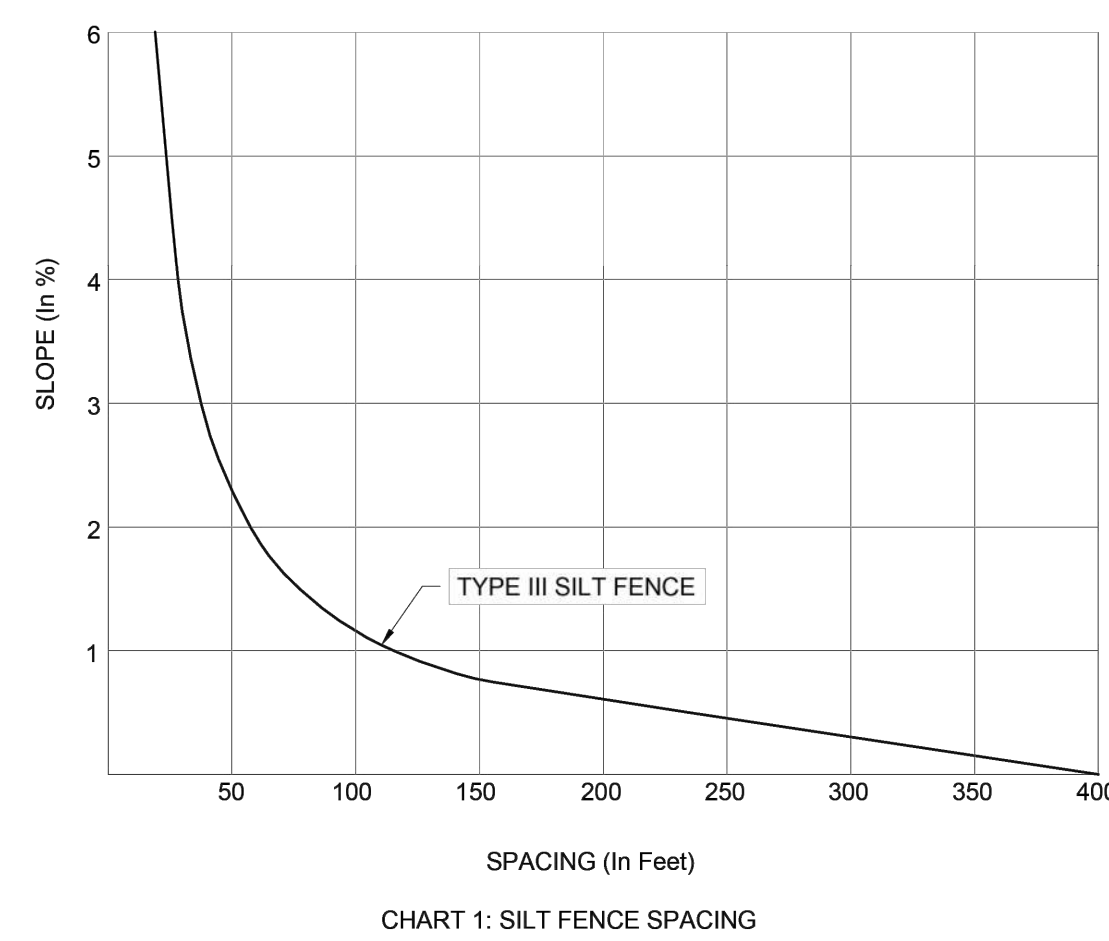
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- THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S STORMWATER PERMITTING PROGRAM APPLIES TO ALL CONSTRUCTION ACTIVITY THAT: 1) CONTRIBUTES STORMWATER DISCHARGES TO SURFACE WATER OF THE STATE OR INTO A MUNICIPAL SEWER SYSTEM (MS4); 2) DISTURBS ONE OR MORE ACRES OF LAND; OR 3) LESS THAN ONE ACRE IS INCLUDED IF THE ACTIVITY IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT THAT WILL MEET OR EXCEED THE ONCE ACRE THRESHOLD. DISTURB INCLUDES CLEARING, GRADING AND EXCAVATING.
- FOR CONSTRUCTION ACTIVITY THAT IS SUBJECT TO THE NPDES FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S STORMWATER PERMITTING PROGRAM, THE CONTRACTOR SHALL:
 - OBTAIN A GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DOCUMENT 62-621.300(4)(A).
 - COMPLY WITH ALL REQUIREMENTS OF THE GENERIC PERMIT.
 - DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
 - COMPLETE A NOTICE OF INTENT (NOI) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FORM 62-621.300(4)(B) IN ITS ENTIRETY USING THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S WEBSITE.
- SUBMIT COPIES OF THE SWPPP AND THE NOI TO THE ENGINEER AS INFORMATIONAL RECORDS. THESE SUBMITTALS WILL NOT BE REVIEWED BY THE ENGINEER.
- CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING STORMWATER INFRASTRUCTURE THAT IS IMPACTED BY CONSTRUCTION ACTIVITIES, BEFORE LEAVING THE JOBSITE.
- CONTRACTOR TO REMOVE ALL FILTER FABRIC AND POLLUTION PREVENTION ITEMS BEFORE THE FINAL WALK-THROUGH.

CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

EROSION AND SEDIMENT CONTROL NOTES SHEET 2

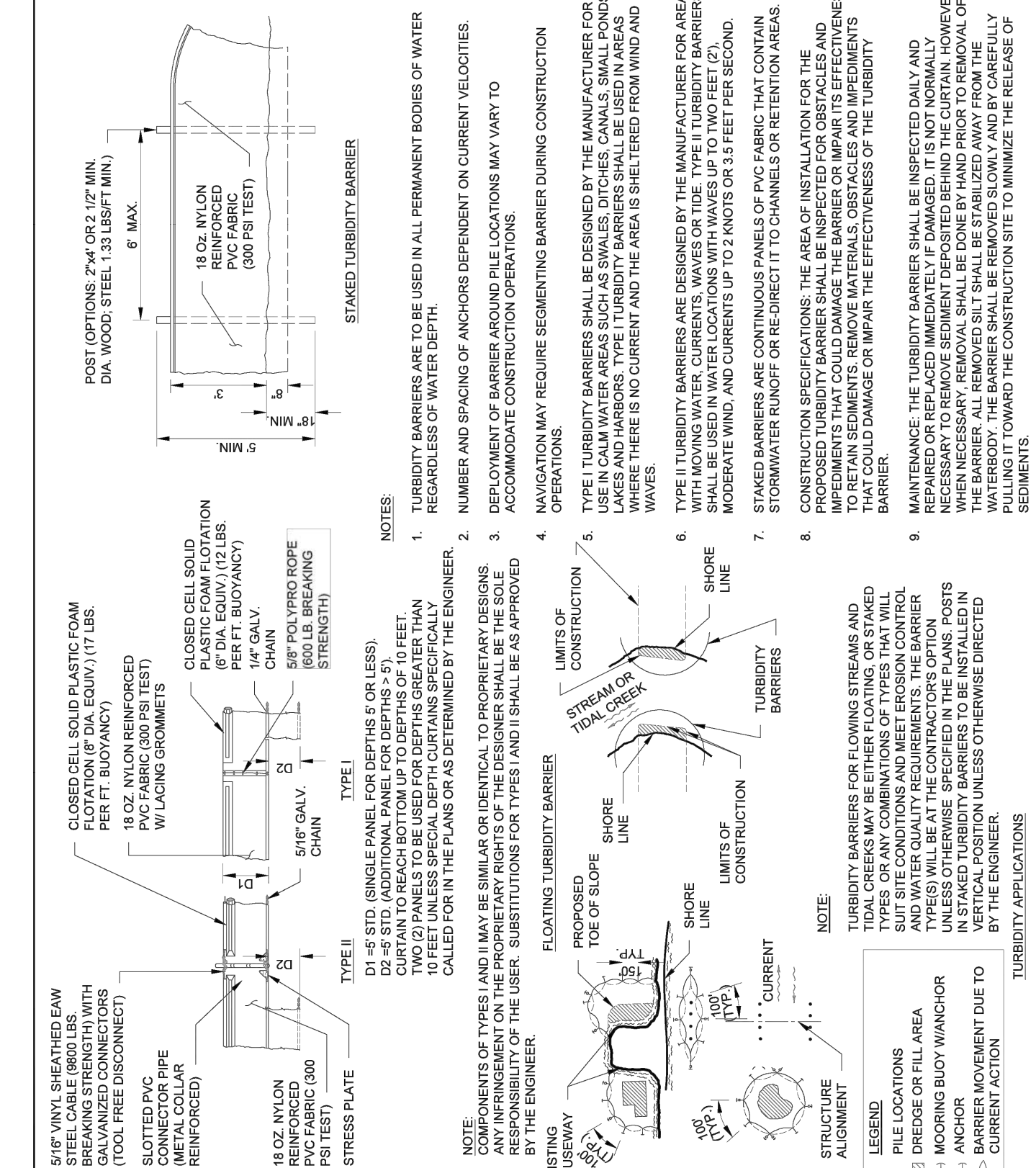
ESC 001
 20170708



CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

SILT FENCE - SHEET 1

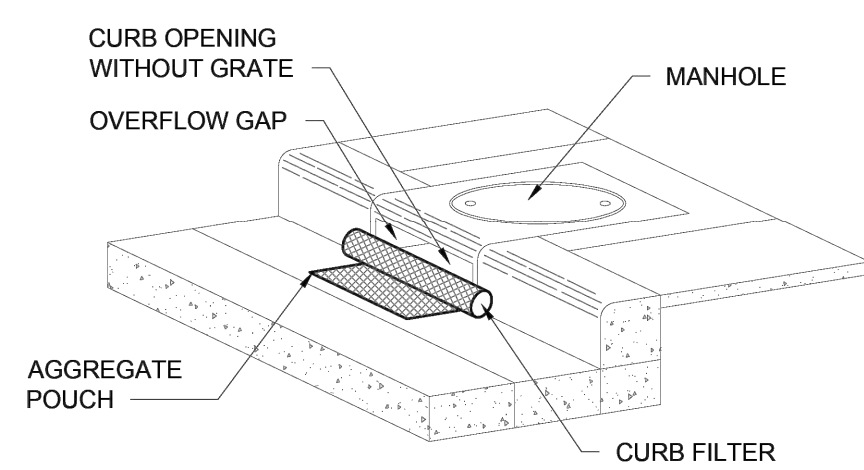
ESC 009
 20170712



CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

TURBIDITY BARRIER - FLOATING

ESC 011
 20170708

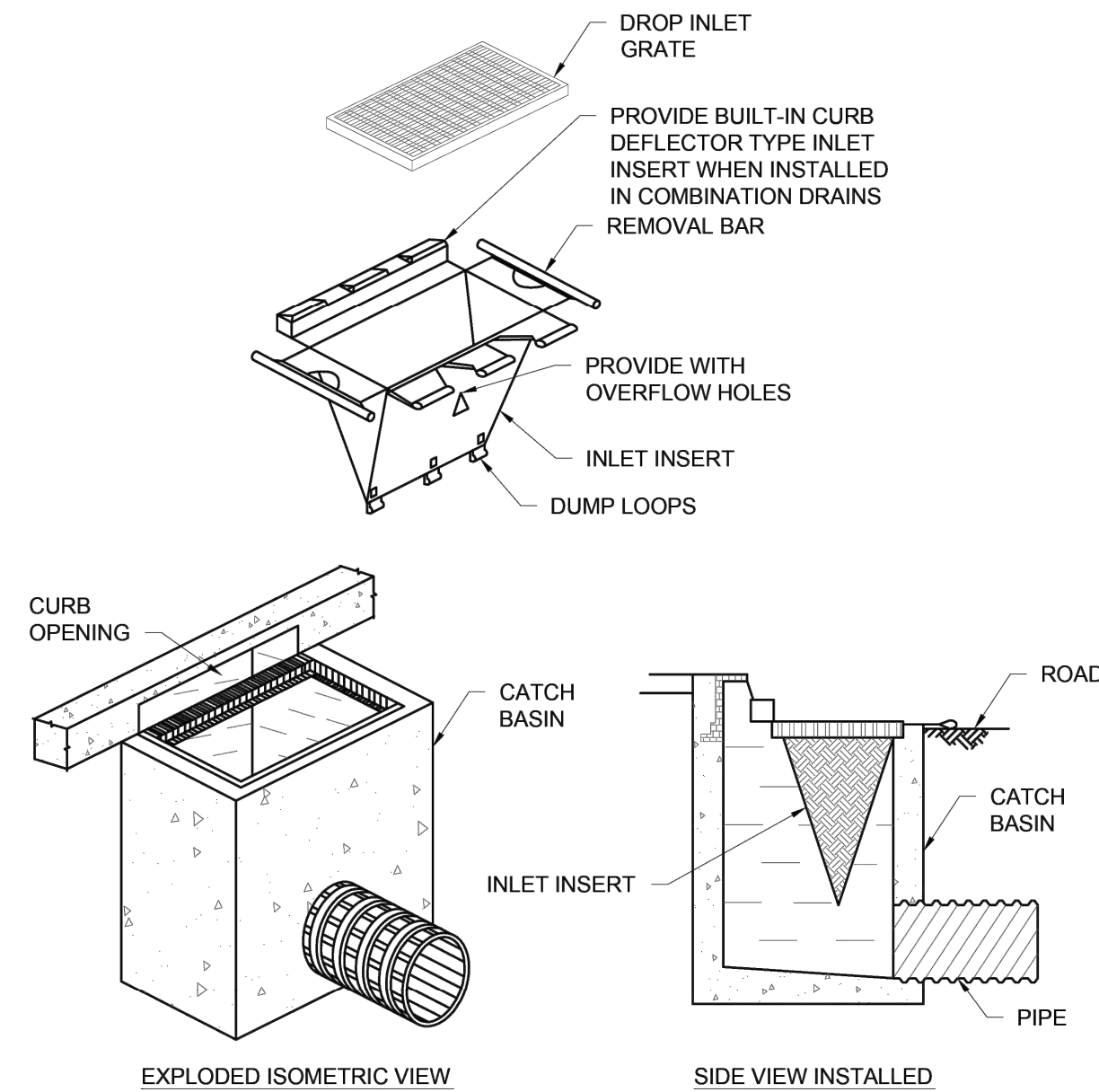


- NOTES:
- INSTALL CURB FILTERS AT ALL INLETS WITHOUT GRATES TO KEEP SILT, SEDIMENT AND CONSTRUCTION DEBRIS OUT OF THE STORM SYSTEM
 - THE CURB FILTER SHALL BE DANDY CURB AS MANUFACTURED BY DANDY PRODUCTS INC., OR EQUAL. SUBMIT SHOP A SHOP DRAWING FOR THE CURB FILTERS.
 - THE CURB FILTER SHALL FORM OF A CYLINDRICAL TUBE PLACED IN FRONT OF AND EXTENDING BEYOND THE INLET OPENING ON BOTH SIDES.
 - THE CURB FILTER SHALL HAVE A POUCH ON THE STREET SIDE OF THE UNIT FOR STONE AGGREGATE TO HOLD THE FILTER IN PLACE.
 - THE CURB FILTER SHALL BE CONSTRUCTED OF A HIGH VISIBILITY ORANGE MONOFILAMENT FABRIC.
 - FILL POUCH WITH FDOT #57 STONE AGGREGATE TO A LEVEL (AT LEAST HALF-FULL) THAT WILL KEEP UNIT IN PLACE DURING A RAIN EVENT AND CREATE A SEAL BETWEEN THE CURB FILTER AND THE SURFACE OF THE STREET.
 - CENTER THE UNIT AGAINST CURB OR MEDIAN INLET OPENING SO THAT THE CURB SIDE OF THE UNIT CREATES A SEAL WITH THE CURB OR MEDIAN BARRIER AND INLET STRUCTURE. THERE WILL BE APPROXIMATELY TWELVE (12) INCHES OF THE INLET PROTECTION UNIT OVERHANGING ON EACH SIDE OF THE OPENING.
 - THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT.

CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

CURB INLET PROTECTION - CURB FILTER

ESC 006
 20170719

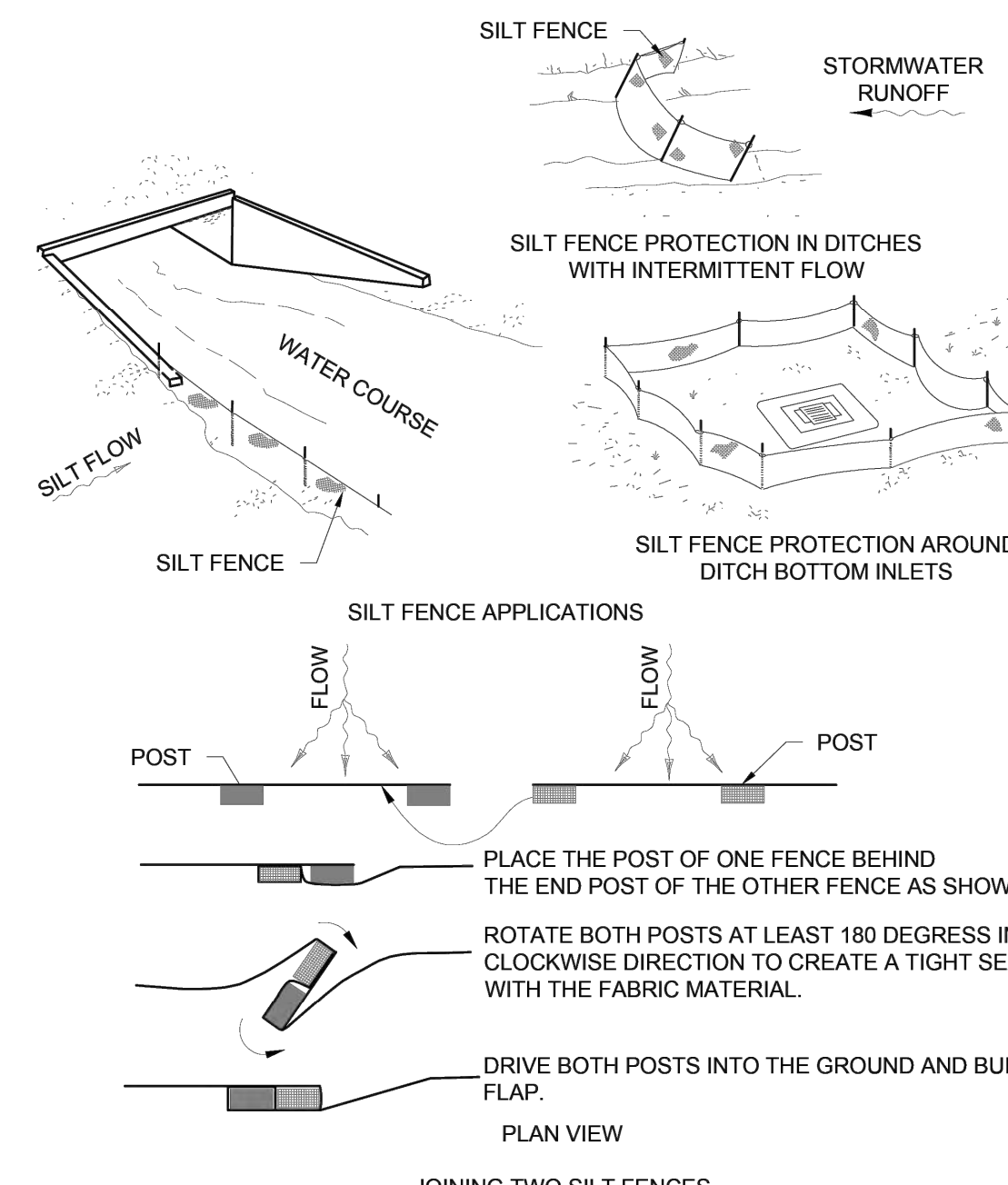


- NOTES:
- THE INLET INSERT SHALL BE A SEDIMENT CONTROL DEVICE DESIGNED FOR DROP INLETS OR COMBINATION DRAINS WHERE A DROP INLET IS COUPLED WITH A CURB INLET.
 - THE INLET INSERT SHALL BE MADE OF A PERMEABLE GEOTEXTILE THAT ALLOWS WATER TO PASS BUT PREVENTS SILT AND SEDIMENT FROM CLOGGING THE DRAIN SYSTEM.
 - THE CONTRACTOR SHALL CLEAN AND INSPECT REGULARLY AND AFTER EVERY MAJOR RAIN EVENT.
 - INLET INSERTS SHALL BE "SILTSACK" BY ACF ENVIRONMENTAL, OR EQUAL. SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH THE SPECIFICATIONS.

CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

DROP INLET PROTECTION - INLET INSERT

ESC 005
 20170712

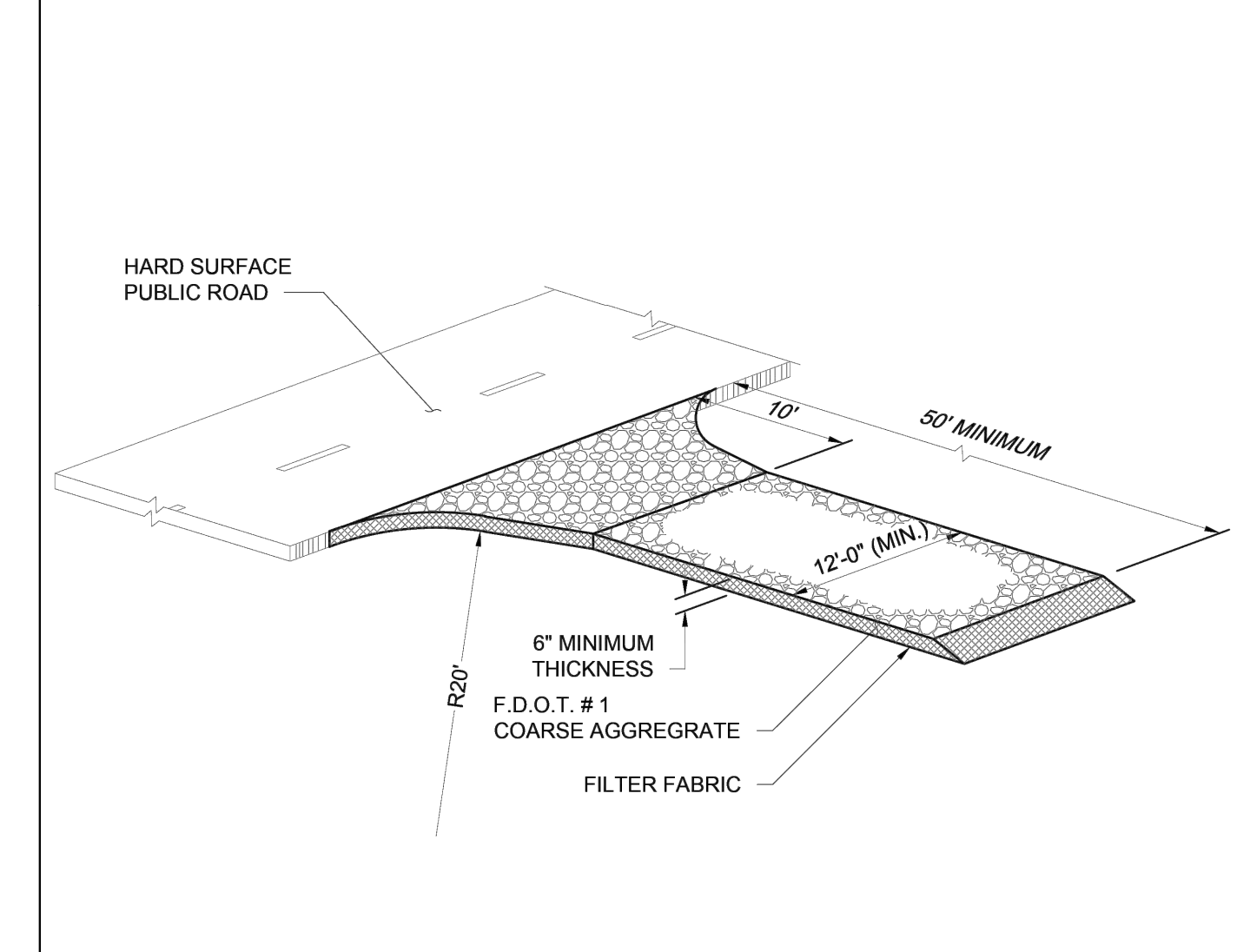


- NOTES:
- WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1.
 - DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 - WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

SILT FENCE - SHEET 2

ESC 010
 20170711



- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

GRAVEL CONSTRUCTION ENTRANCE

ESC 002
 20170708

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
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DRC SUBMITTAL - PRELIMINARY NOT FOR CONSTRUCTION OR BIDDING

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



DATE:	07/10/2025
DRAWN BY:	V.P.
DESIGNED BY:	D.M.
CHECKED BY:	M.V.
FIELD BOOK:	

CITY OF FORT LAUDERDALE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING & ARCHITECTURE
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

NO.	DATE	BY	CHK'D	DESCRIPTION
1	7/24/2025	V.P.	M.V.	30% SUBMITTAL

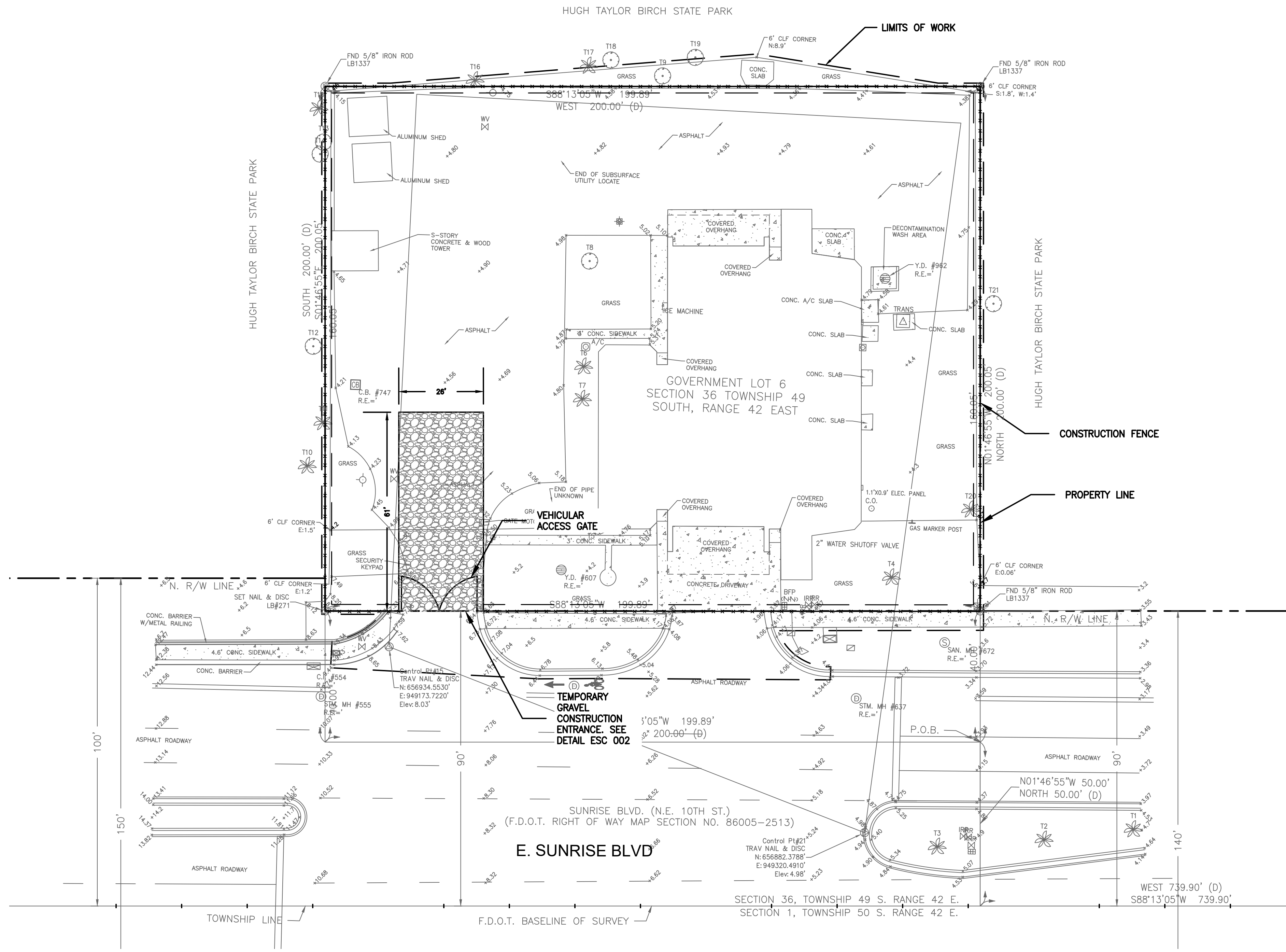
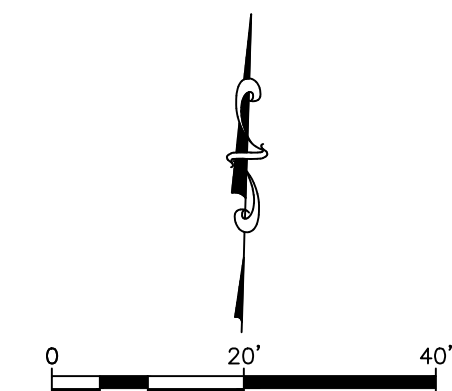
PROJECT # P-10918
 FIRE STATION #13 REPLACEMENT
 EROSION CONTROL DETAILS
 2871 E SUNRISE BLVD., FORT LAUDERDALE, FL 33304

SHEET NO.	12	OF 13
TOTAL:	13	
CAD FILE:	C12-EROSION CONTROL	
DRAWING FILE NO.		

NO.	DATE	BY	CHK'D	DESCRIPTION
1	7/24/2025	V.P.	M.V.	30% SUBMITTAL

PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
EROSION CONTROL PLAN
2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304

SHEET NO. 13	OF 13
TOTAL: 13	
CAD FILE: C13-EROSION CONTROL.dwg	
DRAWING FILE NO. C-13	



EROSION CONTROL NOTES:

1. ALL MEASURES STATED ON THE EROSION CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION ON THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DATES AND WITHIN 24 HOURS OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY SO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY DRIVEWAY AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR DRIVING). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY DRIVEWAY AREA AS CONDITIONS DEMAND.
6. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

EROSION CONTROL PLAN
SCALE: 1" = 20'

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING
PRELIMINARY PLAN
NOT FOR CONSTRUCTION
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DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
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ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.



MARK	DATE	DESCRIPTION

DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:

PROJECT No.:	DATE	SCALE
FTLD2501	JULY 2025	AS SHOWN

CLIENT
City of Fort Lauderdale - Station #13

DCP-P10918 TASK 2

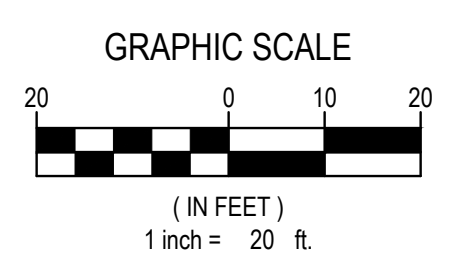
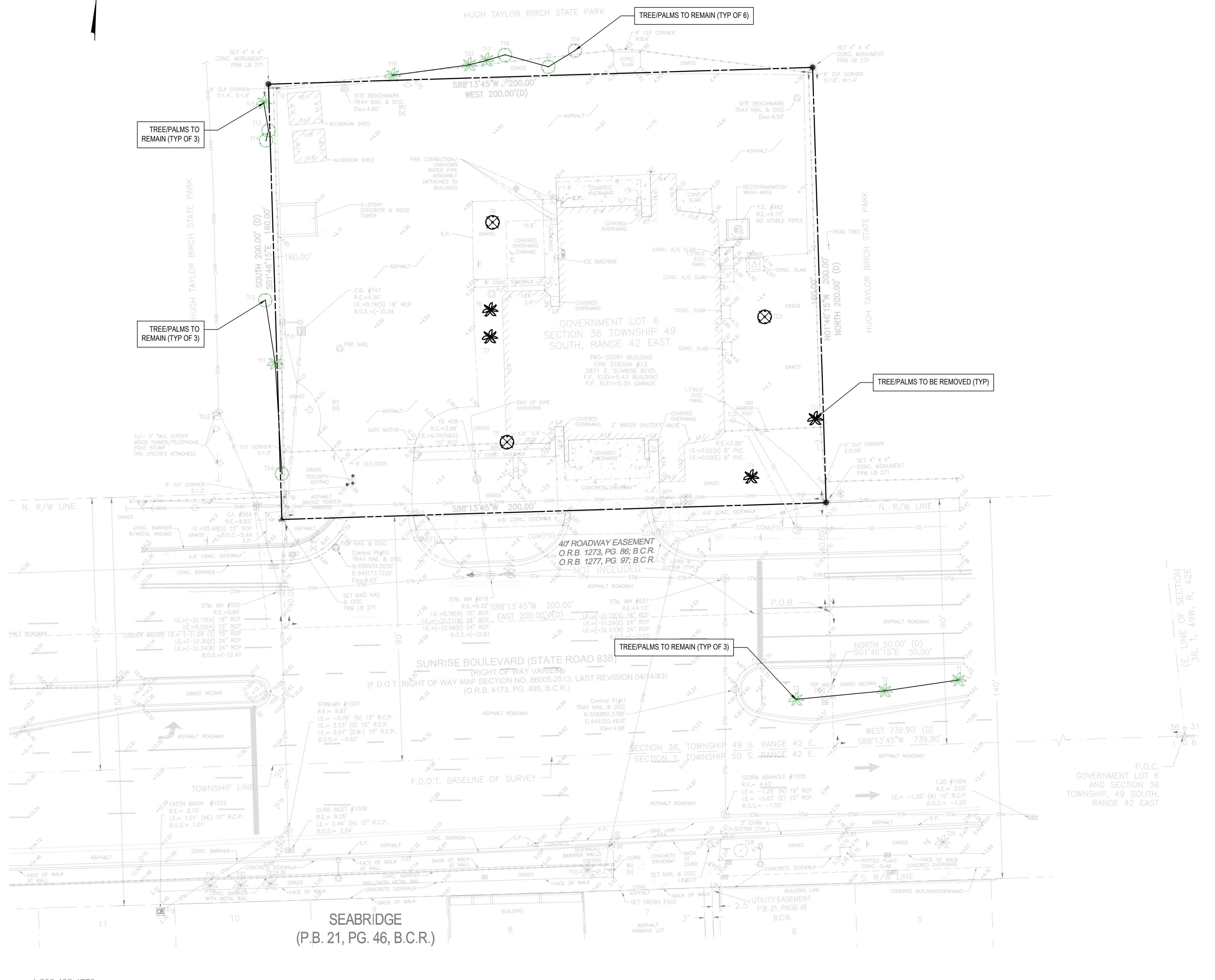
2871 E Sunrise Blvd, Fort Lauderdale, FL 33304

NO CONSTRUCTION CONTRACT AT THIS TIME

DR C SUBMITTAL - PRELIMINARY NOT FOR CONSTRUCTION OR BIDDING

CONCEPTUAL TREE DISPOSITION SITE LAYOUT

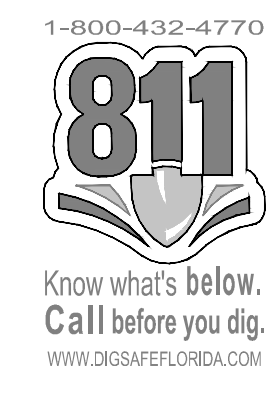
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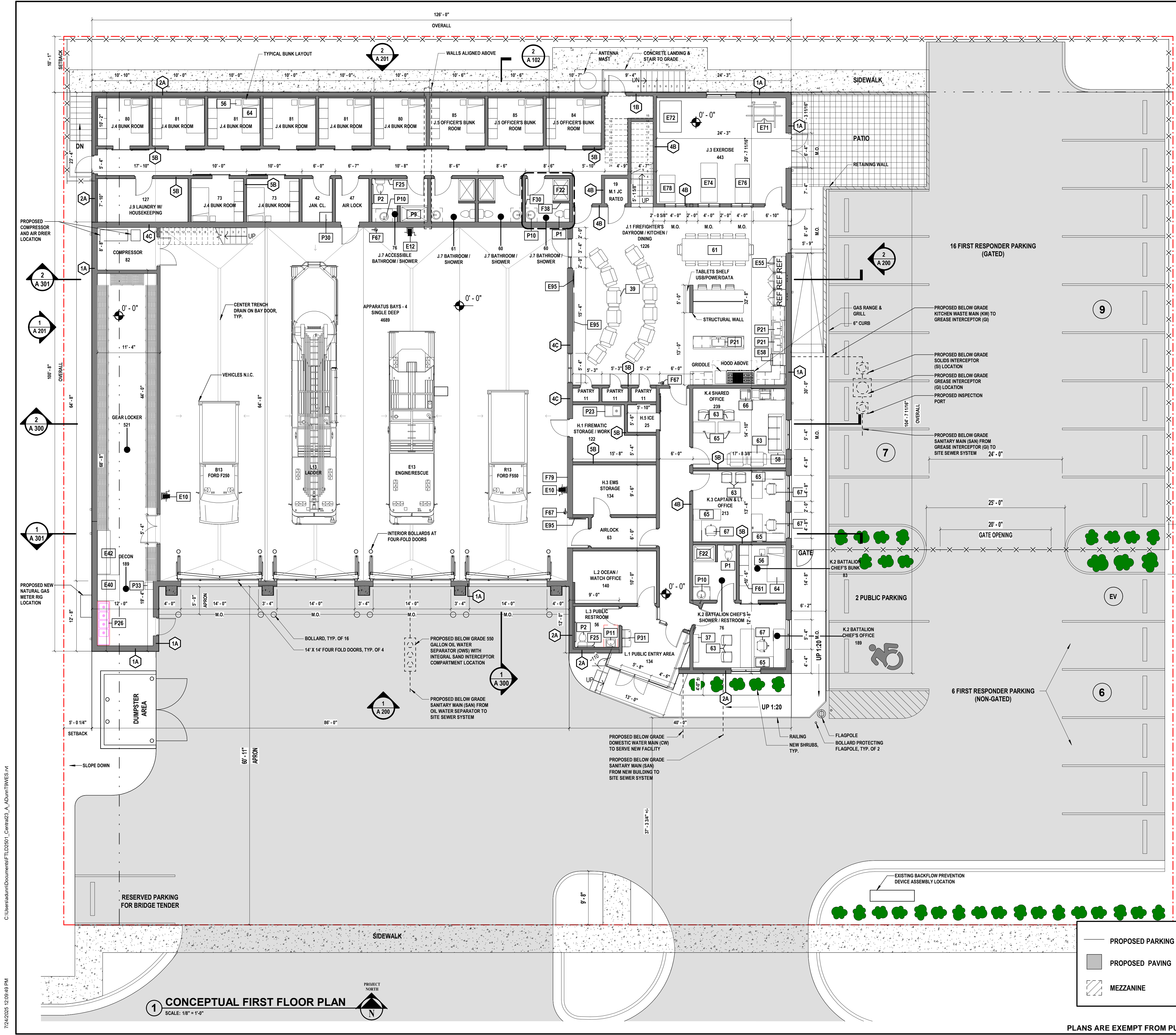


PRELIMINARY PLAN NOT FOR CONSTRUCTION
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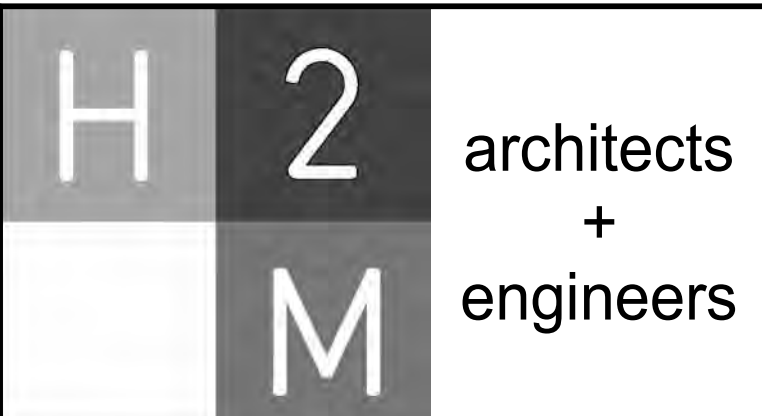
PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

X:\ETD\City of Fort Lauderdale\918 Task 102-BM-CADD\DCP-P10918 Task 102-BM-CADD\DCP-P10918 Task 102-BM-CADD.dwg (11/11/2025) 2:29pm Plotted on Aug 12, 2025 - 12:14pm by h2m





KEYNOTE LEGEND	
Key Value	Keynote Text
37	BOOK CASE
39	RECLINER
56	NIGHT STAND
58	COUCH
61	TABLE & CHAIRS (DINING) 4' X 12'
63	CHAIR
64	TWIN BED, EXTRA LONG
65	OFFICE DESK
66	PRINTER/ COPIER
67	OFFICE CHAIR
E10	HOSE REEL - 50'
E12	HOSE REEL - 100'
E40	GEAR EXTRACTOR
E42	GEAR DRYER
E55	REFRIGERATOR
E58	DISHWASHER - UNDERCOUNTER
E71	BENCH PRESS
E72	UNIVERSAL
E74	TREADMILL
E76	ELLIPTICAL
E78	STAIRMASTER
E85	TV WALL MOUNT AND TV
F22	SHOWER STALL PAN
F25	ADA GRAB BARS
F30	SOAP DISPENSER
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F61	PERSONAL LOCKER
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F79	BAY DOOR CONTROLS
P1	TOILET - FLOOR MOUNTED
P2	TOILET - FLOOR MOUNTED (ADA)
P9	SHOWER STALL PAN (ADA) RECESSED IN SLAB
P10	LAVATORY - IN VANITY 30" WIDE MAX.
P11	LAVATORY - WALL MOUNTED (ADA)
P21	S.S. SINK - DROP IN
P23	SCULLERY SINK - SINGLE
P26	SCULLERY SINK - 4 BOWL
P30	MOP SERVICE BASIN
P31	DRINKING FOUNTAIN (BI-LEVEL)
P33	SELF-CONTAINED EMERGENCY EYEWASH



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 Boca Raton, FL 33431
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MARK	DATE	DESCRIPTION

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DESIGNED BY: D. PACHECO	DRAWN BY: A. DURAN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2501	DATE: JULY 2025	SCALE: AS SHOWN	

**City of Fort
 Lauderdale -
 Station #13**

DCP-P10918 TASK 2

2871 E Sunrise Blvd, Fort
 Lauderdale, FL 33304

CONTRACT
**NO CONSTRUCTION CONTRACT
 AT THIS TIME**

STATUS
**DRC SUBMITTAL - PRELIMINARY
 NOT FOR CONSTRUCTION OR BIDDING**

SHEET TITLE
SCHEMATIC PLAN - FIRST FLOOR

DRAWING No.
A 101.00

BUILDING AREAS:	
FIRST FLOOR:	11,998 SQFT (GROSS)
MEZZANINE:	568 SQFT (NET)
EQUIPMENT PLATFORM/ PENTHOUSE:	1,375 SQFT (GROSS)
GROSS TOTAL:	13,373 SQFT
BUILDING TOTAL INCLUDING MEZZ.:	13,941 SQFT

— PROPOSED PARKING SPACE	TOTAL # OF PARKING SPACES: 24
■ PROPOSED PAVING	♿ ADA PARKING SPACE
▨ MEZZANINE	Ⓜ PROPERTY LINE - ZONE:

7/24/2025 12:09:49 PM

1 CONCEPTUAL FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



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DESIGNED BY: D. PACHECO	DRAWN BY: A. DURAN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2501	DATE: JULY 2025	SCALE: AS SHOWN	

**City of Fort
Lauderdale -
Station #13**

DCP-P10918 TASK 2

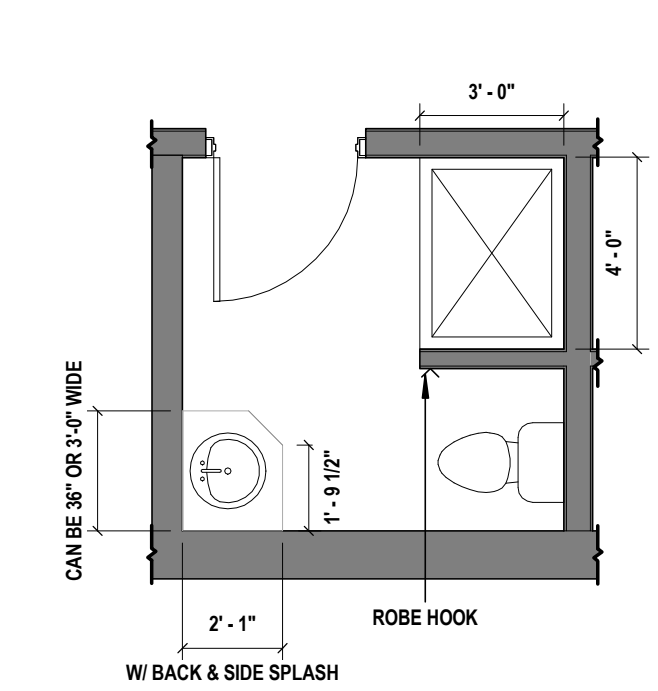
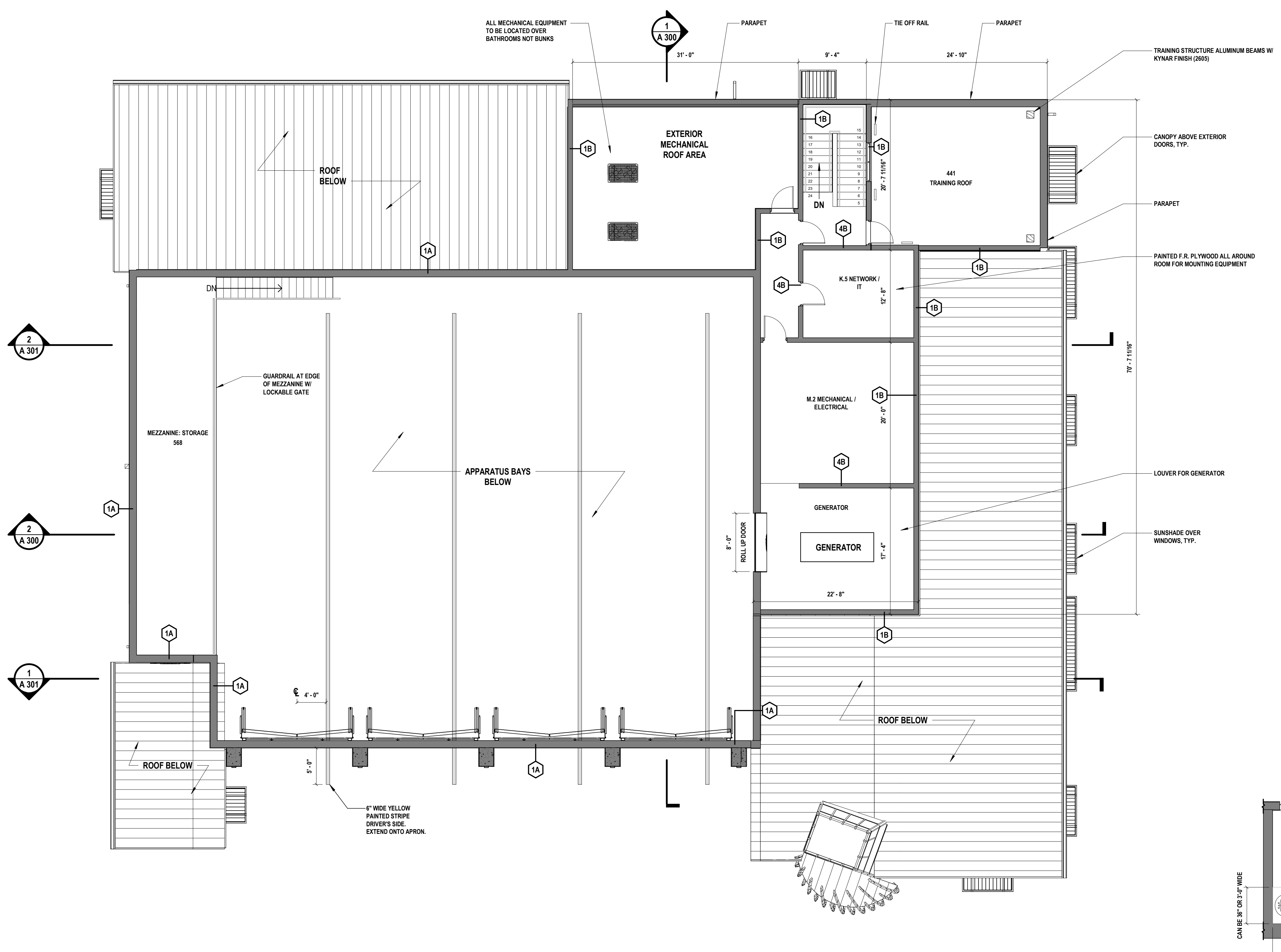
2871 E Sunrise Blvd, Fort
Lauderdale, FL 33304

CONTRACT
**NO CONSTRUCTION CONTRACT
AT THIS TIME**

STATUS
**DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING**

SHEET TITLE
**SCHEMATIC PLAN - MEZZANINE &
PENTHOUSE**

DRAWING No.
A 102.00



- FEATURES REQUIRED FOR ALL BATHROOMS W/ SHOWERS:**
1. SHOWER OPENING SHALL NOT FACE TOILET.
 2. SINKS SHALL BE SET INTO VANITIES OR SHELVING SHALL BE PROVIDED FOR PERSONAL ITEMS DURING USE.
 3. SHOWERS SHALL BE MINIMUM 36" DEEP BY 48" LONG W/ TERRAZZO BASE EXCEPT AT ACCESSIBLE SHOWER.
 4. ALL SHOWER STALL CEILINGS SHALL BE AT 8'-0" WITH PLEXIGLASS-LENSED AND GASKETED LIGHT FIXTURES.
 5. FACUETS SHALL HAVE TALL SPOUTS.

1 CONCEPTUAL PLAN - MEZZANINE AND PENTHOUSE
SCALE: 1/8" = 1'-0"

2 ENLARGED BATHROOM PLAN
SCALE: 1/4" = 1'-0"



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DESIGNED BY: D. PACHECO K. PACHECO	DRAWN BY: A. DURAN	CHECKED BY: B. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2501	DATE: JULY 2025	SCALE: AS SHOWN	

**City of Fort
Lauderdale -
Station #13**

DCP-P10918 TASK 2

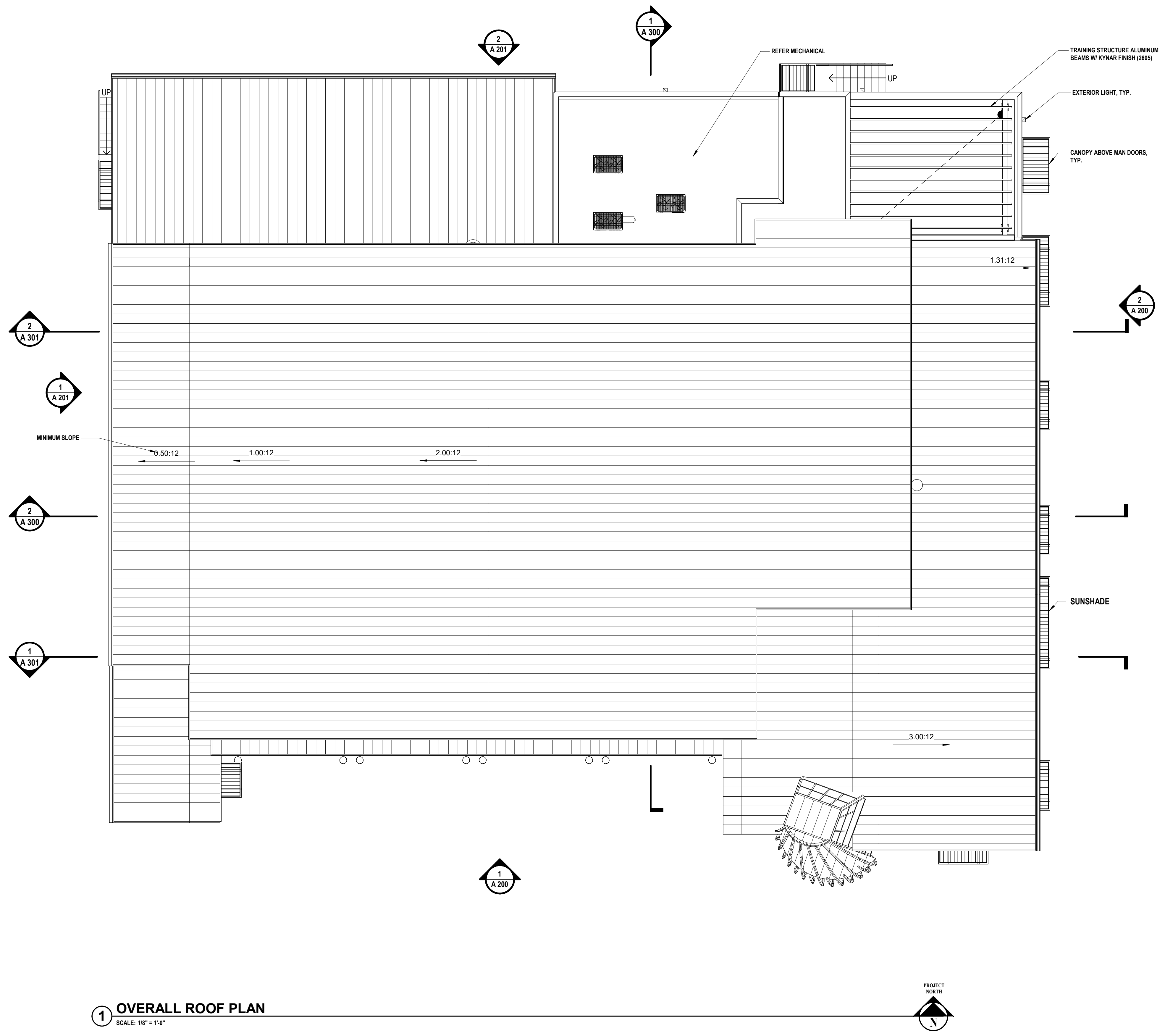
2871 E Sunrise Blvd, Fort
Lauderdale, FL 33304

CONTRACT
NO CONSTRUCTION CONTRACT
AT THIS TIME

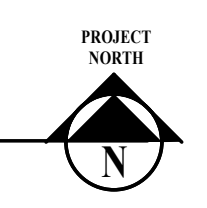
STATUS
DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

SHEET TITLE
SCHEMATIC ROOF PLAN

DRAWING No.
A 130.00



1 OVERALL ROOF PLAN
SCALE: 1/8" = 1'-0"





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DESIGNED BY: D. PACHECO K. PACHECO	DRAWN BY: A. DURAN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2501	DATE: JULY 2025	SCALE: AS SHOWN	

CLIENT
**City of Fort
Lauderdale -
Station #13**

DCP-P10918 TASK 2

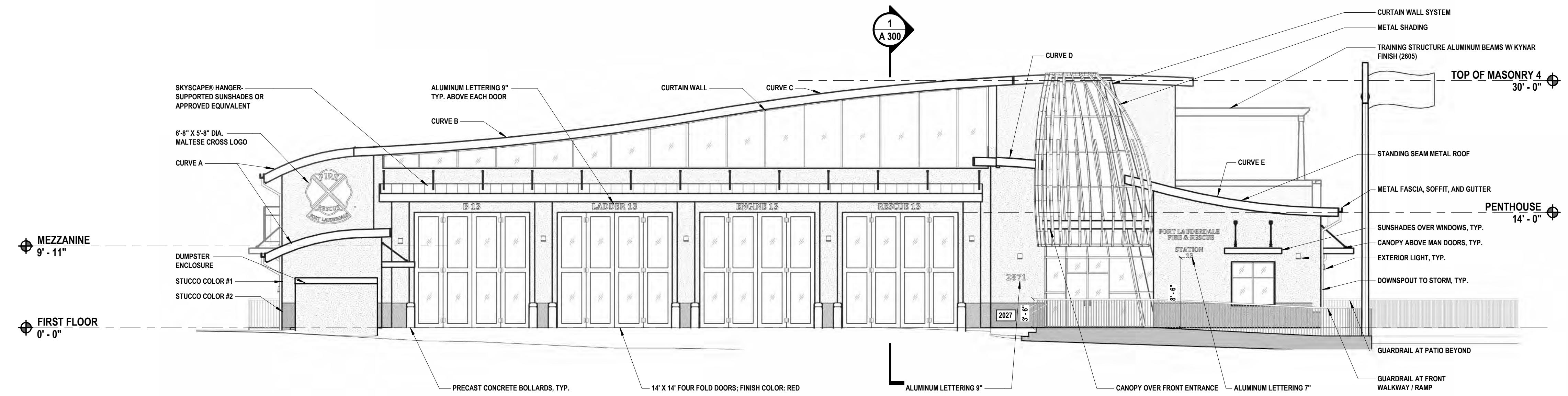
2871 E Sunrise Blvd, Fort
Lauderdale, FL 33304

CONTRACT
NO CONSTRUCTION CONTRACT
AT THIS TIME

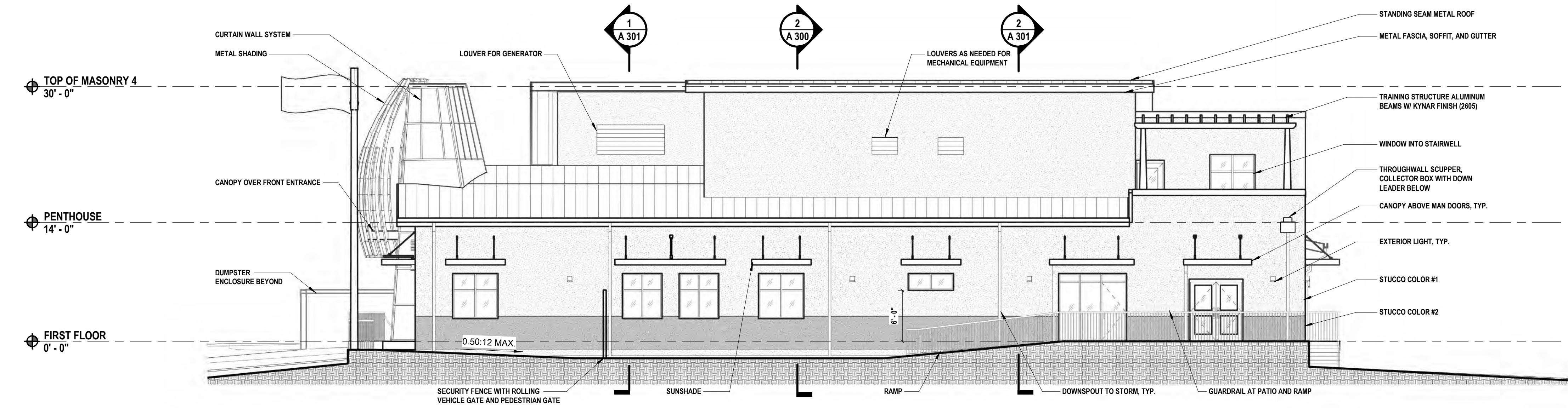
STATUS
DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

SHEET TITLE
**SCHEMATIC BUILDING
ELEVATIONS SOUTH & WEST**

DRAWING No.
A 200.00



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

CURVE RADII

CURVE A = 26'
CURVE B = 324' - 3 3/4"
CURVE C = 324' - 3 3/4"
CURVE D = 85'
CURVE E = 85'
CURVE F = 123'
CURVE G = 8' - 6"



MARK	DATE	DESCRIPTION

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DESIGNED BY: D. PACHECO K. PACHECO	DRAWN BY: A. DURAN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2501	DATE: JULY 2025	SCALE: AS SHOWN	

**City of Fort
Lauderdale -
Station #13**

DCP-P10918 TASK 2

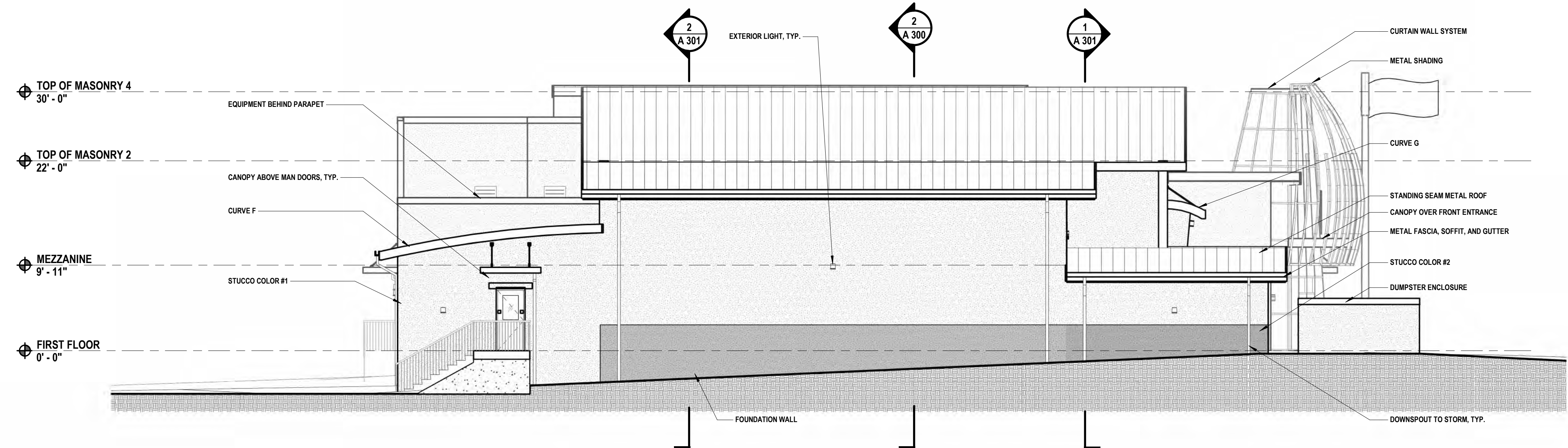
2871 E Sunrise Blvd, Fort
Lauderdale, FL 33304

CONTRACT
**NO CONSTRUCTION CONTRACT
AT THIS TIME**

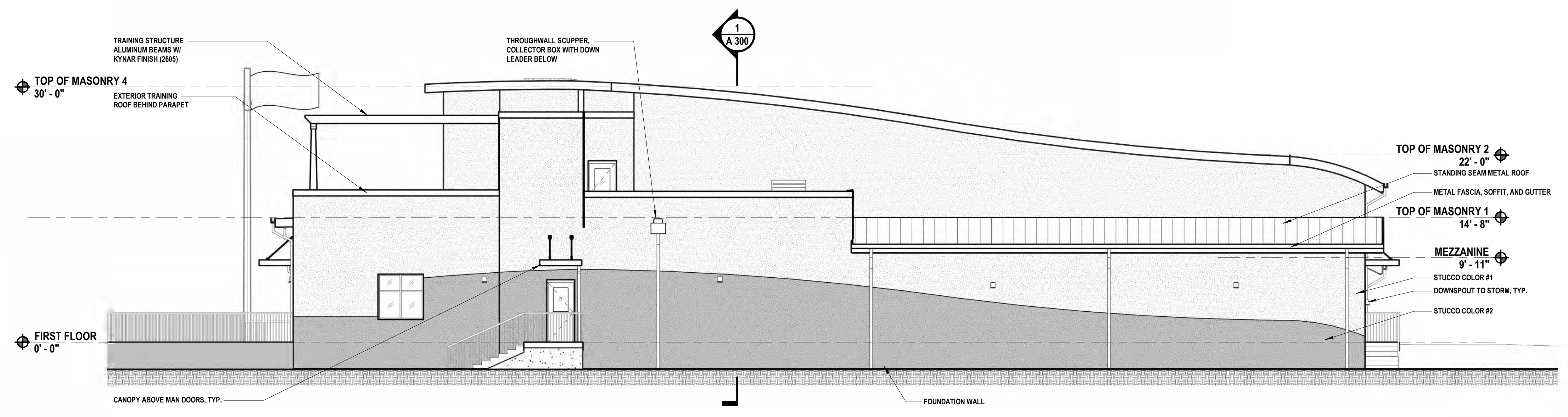
STATUS
**DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING**

SHEET TITLE
**SCHEMATIC BUILDING
ELEVATIONS NORTH & WEST**

DRAWING No.
A 201.00



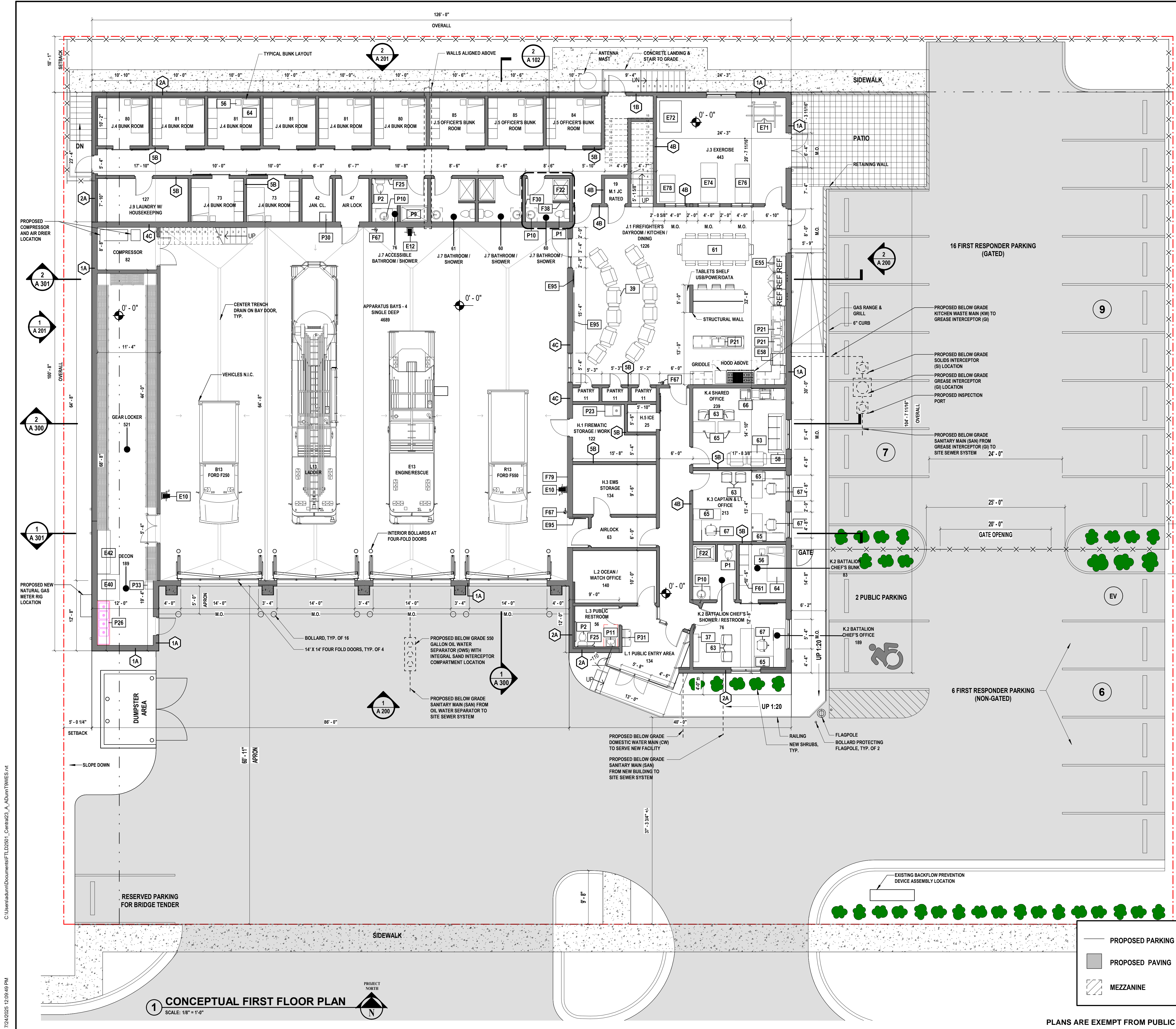
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

CURVE RADII

CURVE A = 26'
CURVE B = 324' - 3 3/4"
CURVE C = 324' - 3 3/4"
CURVE D = 85'
CURVE E = 85'
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CURVE G = 8' - 6"



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Key Value	Keynote Text
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65	OFFICE DESK
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E55	TV WALL MOUNT AND TV
F22	SHOWER STALL PAN
F25	ADA GRAB BARS
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P21	S.S. SINK - DROP IN
P23	SCULLERY SINK - SINGLE
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P30	MOP SERVICE BASIN
P31	DRINKING FOUNTAIN (BI-LEVEL)
P33	SELF-CONTAINED EMERGENCY EYEWASH

H 2 architects + engineers
M

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Boca Raton, FL 33431
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CONSULTANTS:

ces

MARK	DATE	DESCRIPTION

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

DESIGNED BY: D. PACHECO	DRAWN BY: A. DUIN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2501	DATE: JULY 2025	SCALE: AS SHOWN	

CLIENT
City of Fort Lauderdale - Station #13

DCP-P10918 TASK 2

2871 E Sunrise Blvd, Fort Lauderdale, FL 33304

CONTRACT
SCHEMATIC DESIGN

STATUS
DESIGN CRITERIA PACKAGE

SHEET TITLE
SCHEMATIC PLAN - FIRST FLOOR

DRAWING No.
A 101.00

BUILDING AREAS:	
FIRST FLOOR:	11,998 SQFT (GROSS)
MEZZANINE:	568 SQFT (NET)
EQUIPMENT PLATFORM/ PENTHOUSE:	1,375 SQFT (GROSS)
GROSS TOTAL:	13,373 SQFT
BUILDING TOTAL INCLUDING MEZZ.:	13,941 SQFT

— PROPOSED PARKING SPACE	TOTAL # OF PARKING SPACES: 24
■ PROPOSED PAVING	♿ ADA PARKING SPACE
▨ MEZZANINE	Ⓜ PROPERTY LINE - ZONE:

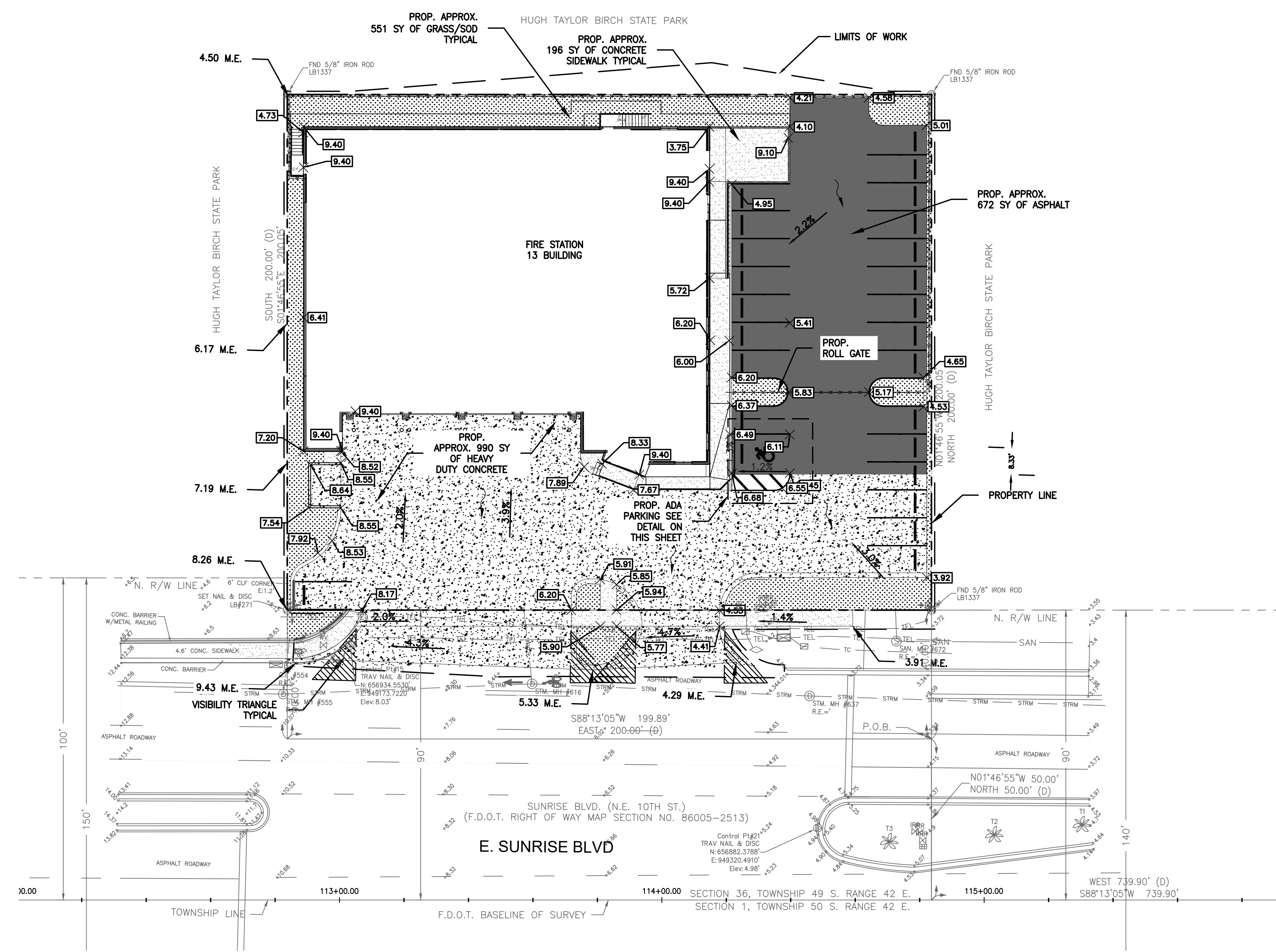
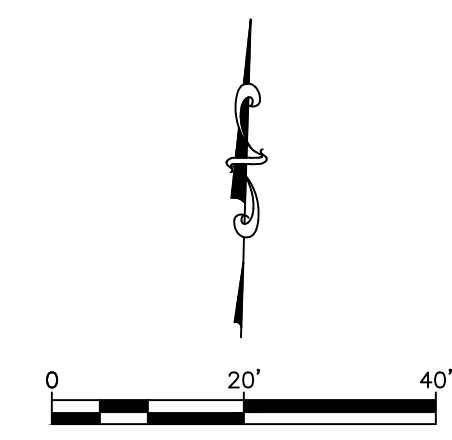
1 CONCEPTUAL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

NO.	DATE	BY	DESCRIPTION
1	7/24/2025	V.P.	30% SUBMITTAL

PROJECT # P-10918
FIRE STATION #13 REPLACEMENT
PROPOSED GRADING & PAVING PLAN
2871 E SUNRISE BLVD, FORT LAUDERDALE, FL 33304

SHEET NO. 7 OF 13
C-07
TOTAL: 13
CAD FILE: C07-GRADING PLAN.dwg
DRAWING FILE NO.



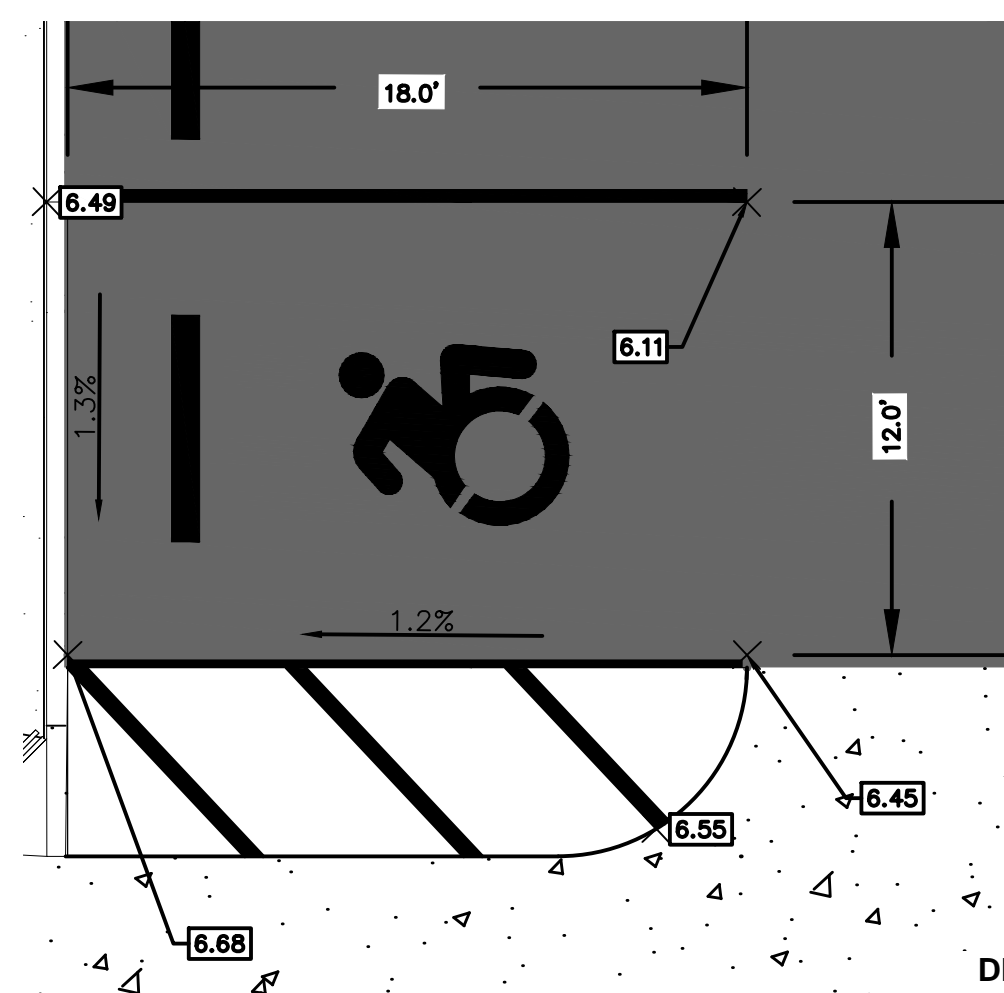
PROPOSED GRADING AND PAVING PLAN
SCALE: 1" = 20'

PAVING SCOPE OF WORK:

1. INSTALL APPROX. 196 SY OF CONCRETE SIDEWALK.
2. INSTALL APPROX. 990 SY OF HEAVY DUTY CONCRETE.
3. INSTALL APPROX. 672 SY OF ASPHALT PAVEMENT.
4. INSTALL APPROX. 433 SY OF SOD/GRASS.

GRADING & PAVING NOTES:

1. ALL EXISTING INFORMATION SHOWN IS BASED ON SURVEY DATA PROVIDED BY BY CRAVEN THOMPSON & ASSOCIATES, INC. DATED 07-14-2020, UNLESS OTHERWISE NOTED.
2. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
3. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH FDOT SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
5. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE NOTED.
6. ELEVATION SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
7. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
8. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE PLANS FOR PLANTING AREAS AND RELATED REQUIREMENTS.



ADA DETAIL
SCALE: NTS

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING
PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

Sunshine 811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH ATLANTIC VERTICAL DATUM OF 1988. NAVD '88 + 1.51' = NGVD '29 ELEVATION

NOTE: THE UNDERGROUND UTILITIES DICPICTED HEREON IS BASED ON SUBSURFACE UTILITY DESIGNATIONS BY RITZEL-MASON AND LOCATED BY CRAVEN THOMPSON & ASSOCIATES.



PROJECT PERMIT APPLICATION NARRATIVE

CITY OF FORT LAUDERDALE, FLORIDA

Project #P10918, Task Order #1 - Design Criteria Package - Fire Rescue Station #13

Schematic Design Project Narrative for

Station #13 – 2871 East Sunrise Boulevard, Fort Lauderdale, FL 33301

December 5, 2025

Per UDLR Section 47-18.26 for Public Purpose Uses, the following description is provided:

A new fire station shall be constructed on the same parcel as the existing Station #13 after demolition of said existing station. The proposed layout as shown in DCP documentation places the building closer to the NW corner of the parcel, at 10 feet from the northern boundary and 5 feet from the western boundary. This allows the placement of parking and other site amenities (generator, dumpster, communications tower, parking, secure yard, accessible public path) for best operational efficiency of the Fire Department.

This new essential facility will allow the Fire Department to improve services already located at a critical waterfront recreational use area that is visited by thousands of people year-round. The proposed station design provides for protection from ocean inundation during extreme weather events, protecting the lives of responders, the City's property and continuity of operations needed during such emergencies as frequently occur in a High Velocity Hurricane Zone. There is no change in size proposed for the parcel. However, the restricted size of the parcel causes the placement and number of off-street parking spaces to be limited to 24, which is the minimum required for the fire station per City contract (2x number of sleeping accommodations). One of these parking spots is accessible per Florida Building Code.

The redevelopment of this parcel continues an existing use, so proposed site layout and amenities strive to: (a) make no change to the economic community, (b) reduce the environmental impact of operations on the existing land by incorporating such features as stormwater retention and capture onsite; and (c) improve the response capabilities of the Fire & Rescue Department. Relocation of Station #13 to another site would be economically infeasible and would likely require a host of additional approval hurdles.

Zone Requirements: District P dimensional requirements per Sec. 47-8.30

- Max. FAR: 1.0
 - Paved Area: Concrete 990 SY; Permeable Asphalt 672 SY; 196 SY of concrete sidewalk; Bldg. Footprint 11,998 SF = 0.718 FAR
- Max. Height: 60' Provided: Approx. 36' above lowest average grade on site
- Setbacks: at West and North boundaries.
 - Side Yard Requirement: 25' min. provided: 5'
 - Rear Yard Requirement: 25' min. provided: 10'

Project General Overview: Note that this information is included within the DCP in expanded form.

The project is located in BROWARD COUNTY and is a **Risk Category IV Essential Facility** under the Florida Building Code (FBC). It is located in the High Velocity Hurricane Zone (HVHZ). As such, systems must meet the FBC/Miami-Dade performance requirements for the HVHZ and also the additional requirements of Broward County Amendments to the FBC located at

(<https://www.broward.org/CodeAppeals/Documents/Broward%20County,%20FL%20Building%20Code%20Repub.pdf>). This includes local Notice of Approval (NOA) for Risk Category IV for the following systems: Panel Walls, Exterior Doors, Roofing Products, Skylights, Windows, Shutters, and Structural Components.

The FEMA Flood Insurance Rate Map (FIRM) number 12011C0388J indicates that the Project is located in Flood Zone AE with a Base Flood Elevation (BFE) of 6.40-ft NAVD 88. In accordance with the City of Fort Lauderdale Floodplain Management Ordinance and applicable FEMA regulations, the minimum finished floor elevation shall be established at the BFE plus a freeboard of 3.00-ft, resulting in a minimum finished floor elevation of 9.40-ft NAVD 88. The proposed finished floor elevation will be 9.40-ft NAVD 88; therefore, flood vents will NOT be required for this building.

- The project consists of a new approximately 13,900 sq. ft. fire station and related site work. It is a one-story facility with a mezzanine level and a penthouse equipment level. The building footprint is approximately 12,000 sq. ft.
- Construction type is 2B non-combustible, mixed use, non-separated.
- The station will be fully sprinklered.
- The Project shall assume to have an October 2026 construction start.
- The project is not required to be LEED certified. The DCP emphasizes energy efficiency and resiliency.
- All FF&E to be included. Commercial kitchen equipment is keynoted in plan.
- Technology components (such as card readers, security cameras, internal and external communications systems, etc.) are included in contract. The CITY will have vendors under separate contract with whom coordination must be continuous throughout the Contract Time.

General Site Notes:

- Grade at the building will be raised approximately 5' above the existing grade to elevate above the BFE.
- Site and Building Demolition (including abatement if necessary) of existing fire station #13 is included in scope.
- Sitework includes but is not limited to: site preparation, curbs, paving, sidewalks, utilities, striping, landscaping, flagpole, plantings, demo of existing fence, infiltration on site, work on the state road (Sunrise Blvd) and storm water mitigation in road.
- Infiltration storm system is on site.
- Main vehicle response apron and driveway are heavy duty concrete. Exterior bollards are planned at station bay doors and other building elements for protection of operations as well as protecting the dumpster.
- Parking area is normal duty **permeable asphalt** paving.
- Parking area and site will have 8-foot spiked aluminum fence.
- Parking area will have 8' high motorized sliding heavy duty access control gate.
- All parking lot lighting will be mounted on the building.
- Site has the following utilities available: Electric, Water, Gas, Storm, and Sanitary Sewer.



- Note retaining walls indicated on site plans and that building foundation walls will act as retaining walls.
- Lightning protection shall be provided on building.
- Erosion and sediment control (silt fence) and one (1) stabilized construction entrance will be provided during construction. Security fence during construction is required.

Station #13 is highly visible and will be seen by thousands on their way to/from beach. Station to be source of City pride due to high visibility. Must be hurricane resilient and operationally correct. Unique challenges: park surrounds site; approach and departure angles; grade changes across site; and elevation above sea level.

HVAC challenges: high priority to 'get it right' in design of new stations, with moisture intrusion properly controlled. Salt-water-laden air (salt fog) is a particular issue for conditioning spaces when considering open bay doors, vestibules and transition spaces to outside for exercise rooms. Temperature controls should allow for cool settings within the station and individual control at private spaces. Lessons learned by DCP designers and Fire-Rescue team shall inform DBF design efforts. Lessons learned V/E: if not making the budget, must look closely at project with careful consideration before making decisions.

JANUARY 2026

**PRELIMINARY STORMWATER
CALCULATIONS FOR:**

FIRE RESCUE STATION #13
2871 EAST SUNRISE BLVD
FORT LAUDERDALE, FL 33304



880 SW 145th Avenue, Suite 106
Pembroke Pines, FL 33027

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APPENDICES

APPENDIX A – PRELIMINARY STORMWATER CALCULATIONS

1.0 PROJECT OVERVIEW AND DRAINAGE OBJECTIVES

This preliminary drainage report documents the hydrologic and hydraulic analysis performed to evaluate stormwater management for the proposed redevelopment project for Fire Rescue Station #13 located in Fort Lauderdale, Florida.

The analysis has been developed to demonstrate compliance with City of Fort Lauderdale and South Florida Water Management District (SFWMD) drainage criteria using a combination of surface storage, exfiltration trench storage and discharge, and drainage well discharge.

The drainage system is evaluated under multiple design conditions to ensure the site functions acceptably during both extreme and more frequent storm events.

1.1 Design Objectives

The following performance criteria govern the drainage system design:

- **100-Year Storm Event**
 - Maximum allowable surface ponding depth: 6 inches
 - Surface and subsurface storage may be utilized concurrently
- **10-Year Storm Event**
 - No surface ponding permitted
 - Peak inflow must be fully conveyed by the drainage system
- **Water Quality Treatment**
 - Stormwater discharge is to a Water Nature Area System (WNAS)
 - Required treatment rate and volume will be evaluated separately and incorporated at a later stage

The drainage system is therefore designed to simultaneously satisfy flood protection, operational performance, and water quality requirements.

2.0 RAINFALL CHARACTERIZATION AND TEMPORAL DISTRIBUTION

Stormwater inflow to the site was evaluated using rainfall depths and temporal distributions appropriate for South Florida conditions and consistent with regulatory guidance.

2.1 Long-Duration Storm Events (25-Year and 100-Year)

The 25-year and 100-year storm events were evaluated using the SFWMD 72-hour temporal distribution, which is specifically developed for long-duration, high-volume storm events in South Florida.

The analysis procedure for these storms consisted of:

1. Selection of total rainfall depth for the project location
2. Application of the SFWMD temporal distribution to the total rainfall
3. Development of incremental rainfall depths over time
4. Identification of peak rainfall intensity from the distribution

The NRCS Type II distribution was **not used** for these storm events, as it is not applicable to 72-hour storm durations.

2.2 Short-Duration Storm Events (5-Year and 10-Year)

The 5-year and 10-year storm events were evaluated using the NRCS Type II dimensionless rainfall distribution, which is appropriate for shorter-duration, convective storm events.

The analysis consisted of:

1. Selection of total rainfall depth
2. Application of the NRCS Type II dimensionless curve
3. Development of a temporal rainfall distribution
4. Determination of peak rainfall intensity

The NRCS Type II distribution was used exclusively for the 5-year and 10-year storm events and was not applied to the long-duration storms.

3.0 SITE CHARACTERISTICS AND HYDROLOGIC INPUTS

3.1 Site Location and Regulatory Basis

- **Location:**
 - 2871 East Sunrise Boulevard, Fort Lauderdale, Broward County, Florida
- **Governing criteria:**
 - City of Fort Lauderdale Drainage Criteria
 - Broward County Surface Water Management Regulations
 - South Florida Water Management District (SFWMD) ERP criteria

3.2 Drainage Area and Land Use

The total contributing drainage area is **0.734 acres**, consisting of the following land uses:

- Roof Area: **0.295 acres**
- Asphalt / Parking Area: **0.363 acres**
- Landscape Area: **0.076 acres**

3.3 Hydrologic Constants and Assumptions

The following constants were used consistently throughout the analysis:

- Soil Hydraulic Conductivity (K): **2.48×10^{-5} cfs/sq-ft per ft head**
- FEMA Base Flood Elevation: **+6.00 ft NAVD 88**
- Broward County Flood Criteria: **+8.00 ft NAVD 88**
- Design Groundwater Elevation (Future Conditions): **+2.5 ft NAVD 88**
- Maximum Allowable Surface Ponding Depth (100-yr): **0.50 ft (6 inches)**
- Allowable Ponding for 10-yr Storm: **0.00 ft**
- Aggregate Void Ratio (Exfiltration Trench): **0.40**
- Conversion Factors:
 - 1 acre = 43,560 sq ft
 - 1 cfs = 448.8 gpm

3.4 Drainage Infrastructure Assumptions

- Drainage Well Performance: **120 gpm per foot of available head**
- Exfiltration Trench:

- o Maximum depth limited by groundwater elevation
- Hydraulic head varies with surface water elevation during storm events

4.0 WATER QUALITY CALCULATION

4.1 Water Quality Criteria

Quality standards shall be provided during a 25 year, 72 hour storm event for one of the following three combinations:

1. If a wet detention system, then whichever is the greater of the following:
 - o The first inch of runoff from the entire project site.
 - o The amount of 2.5 inches times the percent impervious for the project site.
2. Exfiltration trench requires the volume required for the wet detention system.
3. If the site is within a basin that discharges to an Impaired Water Body (Waters Not Attaining Standards - WNAS), must provide an additional 50% of Required Water Quality Volume as reasonable assurance to not impact water quality.

4.2 Water Quality Calculations

1.	Compute the first inch of runoff from the entire developed project site:								
	=	1.00 inch	X	0.73 acres	X	(1 foot / 12 inches)			
	=	0.061 ac-ft for the first inch of runoff							
2.	Compute 2.5 inches times the percent impervious for the developed project site:								
a.	Site area for water quality pervious / impervious calculations only:								
	=	Total Project - (Lake Area + Buildings)							
	=	0.73 acres	-	(0.00 acres	+	0.30 acres)		
	=	0.44 acres of site area for water quality calculations							
b.	Impervious area for water quality pervious / impervious calculations only:								
	=	Site area for water quality - Pervious area							
	=	0.44 acres	-	0.08 acres					
	=	0.36 acres of impervious area for water quality calculations							
c.	Percentage of impervious area for water quality:								
	=	Impervious area for water quality / Site area for water quality x 100%							
	=	0.36 acres	/	0.439 acres	x	100%			
	=	82.75 % Impervious							
d.	For 2.5 inches times the percentage of impervious area:								
	=	2.5 inches	X	82.75 %					
	=	2.07 inches to be treated							
e.	Compute volume required for quality detention:								
	=	Inches to be treated X (Total Site Area - Lake Area)							
	=	2.07 inches	X	(0.73 acres	-	0.000 acres)	x	(1 foot / 12 inches)
	=	0.127 ac-ft required for detention storage							
3.	The first inch of runoff from the entire developed site =					0.061 ac-ft			
	2.5 inches times the percentage of impervious area =					0.127 ac-ft			
	Additional 50% if within WNAS (0.000 ac-ft if not within WNAS) =					0.063 ac-ft			
	WQ volume of	0.190	ac-ft required						
	Converted into CFS, and discharging over a time period of 1 hour								
	WQ volume of	2.298	CFS required						

5.0 RUNOFF VOLUME CALCULATION

Runoff volume was calculated using the NRCS Curve Number methodology.

4.1 Weighted Curve Number

A weighted Curve Number was calculated based on the proportional area of each land use:

$$CN_w = \frac{\sum(CN_i \times A_i)}{\sum A_i}$$

4.2 Runoff Depth

Runoff depth was calculated using the standard NRCS runoff equation:

$$Q = \frac{(P - 0.2S)^2}{(P + 0.8S)}$$

where:

- (P) = total rainfall depth (inches)
- $S = \frac{1000}{CN_w} - 10$

4.3 Runoff Volume

Runoff volume was calculated as:

$$V = Q \times A \times 43,560$$

Runoff volumes were computed for the 100-year and 10-year storm events.

6.0 PEAK INFLOW DETERMINATION

Peak inflow rates were determined from storm-specific temporal distributions rather than from simplified rational method calculations.

6.1 Hydrograph Development

For each storm event:

1. Incremental rainfall depths were applied to the site drainage area
2. Losses were accounted for using NRCS abstractions
3. Runoff was accumulated over time to form an inflow hydrograph

6.2 Peak Inflow Identification

The peak inflow rate for each storm event was identified directly from the hydrograph. These values represent the maximum rate the drainage system must accommodate.

Hand calculations are included for transparency but are not used to override hydrograph-derived peak inflow rates.

7.0 SURFACE STORAGE ANALYSIS

7.1 Maximum Allowable Ponding

The maximum allowable surface ponding depth for the 100-year storm event is:

- 0.50 ft (6 inches)

This depth represents the regulatory upper limit and is not assumed to occur uniformly across the site.

Surface ponding is not permitted for the 10-year storm event.

7.2 Effective Average Ponding Depth

Due to non-uniform grading across the site, ponding initiates at local low points and progressively spreads toward higher elevations. As a result, the *average* depth of ponding across the available surface area is less than the maximum allowable depth.

In the absence of a detailed stage-storage curve, the effective average ponding depth is conservatively estimated assuming a linear (triangular) depth distribution:

$$d_{avg} = \frac{d_{max}}{2}$$

Where:

- $d_{max} = 0.50$ ft

$$d_{avg} = \frac{0.50}{2} = 0.25 \text{ ft}$$

This assumption reflects progressive inundation and is commonly accepted for paved redevelopment sites with mild slopes.

7.3 Available Ponding Area

The area available for surface ponding consists of paved parking and hardscape areas that are not required to remain dry during the 100-year storm event.

Let:

- A_p = available surface ponding area (square feet)

This area is assumed to be hydraulically connected and capable of storing water up to the allowable depth.

6.4 Surface Storage Volume

Surface storage volume is calculated as:

$$V_s = A_p \times d_{avg}$$

Where:

- V_s = surface storage volume (cubic feet)
- A_p = ponding area (square feet)
- d_{avg} = effective average ponding depth (feet)

Surface storage volume is credited only for the 100-year storm event and is excluded from the 10-year storm evaluation.

8.0 DRAINAGE WELL DISCHARGE CAPACITY

8.1 Drainage Well Performance Assumption

Drainage well performance is based on an assumed capacity of:

- **120 gallons per minute per foot of hydraulic head**

This value is consistent with commonly accepted drainage well performance assumptions in Broward County and is subject to confirmation during final design.

8.2 Available Hydraulic Head

The effective hydraulic head acting on the drainage well is assumed as:

- Average site grade above groundwater: **5.41 ft**
- Broward County 2070 Future Conditions Average Wet Season Water Table: **+2.5 ft**
- Additional surface ponding head (100-year event): up to **0.5 ft**

The available head for the well is:

$$H = 5.41ft - 2.5ft = 2.91ft$$

8.3 Drainage Well Discharge Rate

Drainage well discharge rate is calculated as:

$$Q_{well} = 120 \times H$$

$$Q_{well} = 120 \times 2.91 = 349.2 \text{ gpm}$$

Converted to cubic feet per second:

$$Q_{well} = \frac{349.2}{448.8} = 0.778 \text{ cfs}$$

8.4 Drainage Well Volume Over 100-Year Storm

Assuming continuous operation over the 72-hour storm duration:

$$V_{well} = Q_{well} \times 72 \times 3600$$

$$V_{well} = 0.778 \times 259,200 = 201,667.01 \text{ cu ft}$$

This confirms that the drainage well provides sufficient total volume removal, while surface and subsurface storage are required to manage short-duration peak inflows.

9. EXFILTRATION TRENCH ANALYSIS

9.1 Trench Geometry and Storage

The exfiltration trench length that will be provided will be:

- Trench length: **220 ft**

The exfiltration trench is evaluated using the following parameters:

- Trench width: **15 ft**
- Trench depth: **5 ft (limited by groundwater)**
- Aggregate void ratio: **0.40**
- Design groundwater elevation (future conditions): **+2.5 ft**

Effective storage per linear foot of trench:

$$V_{lf} = \text{Width} \times \text{Depth} \times \text{Void Ratio}$$

$$V_{lf} = 15 \times 5 \times 0.40 = 30 \text{ cu ft/LF}$$

9.2 Exfiltration Storage Volume

For a trench length L :

$$V_{trench} = 30 \times L$$

This relationship is used to size and optimize trench length based on required subsurface storage.

9.3 Exfiltration Discharge (Darcy Flow)

Exfiltration discharge is calculated using Darcy's Law:

$$Q_{exf} = K \times i \times A$$

$$Q_{exf} = 2.48E - 05 \times 0.389 \times 1281.28 = 0.0123 \text{ CFS}$$

Where:

- $K = 0.0000248 \text{ ft/hr}$ (soil hydraulic conductivity)
- $i = \frac{H}{L_{flow}} = \frac{5.41 - 2.50}{7.5} = 0.389$ (hydraulic gradient)
- $A =$ effective wetted area of trench bottom and sidewalls $= 2.912 \times 2 = 5.824 \text{ sf/lf} \times 220 \text{ ft} = 1281.28 \text{ sf}$

Hydraulic head H includes:

- Stored water depth within the trench
- Surface ponding head during peak storm conditions

The exfiltration trench therefore contributes active discharge during peak inflow periods, reducing reliance on surface storage alone.

10. SYSTEM PERFORMANCE EVALUATION

10.1 Peak Routing and Design Basis

Peak routing calculations were performed for multiple regulatory stormwater scenarios to evaluate the controlling design condition for the proposed drainage infrastructure.

The following peak inflow rates were determined for the site:

- 100-year, 72-hour storm: **0.335 cfs**
- 10-year, 72-hour storm: **1.480 cfs**
- Water Quality rate to be treated: **2.3 cfs**

For the 100-year, 72-hours storm evaluation, since the water quality rate to be treated is the highest compared to the 100-year storm event flow, it was used as the governing design flow to size the drainage infrastructure. By sizing the system to accommodate the water quality flow of 2.3 cfs, the system inherently provides sufficient capacity to peak inflow for the 100-year storm and meet the water quality treatment requirement.

The 10-year, 72-hour storm is evaluated separately to demonstrate compliance with no-flooding criteria, including allowable surface ponding and storage using the exfiltration trenches. The proposed system is designed to satisfy the hydraulic requirements of the 10-year storm while also meeting water quality treatment and 100-year storm volume management criteria.

10.2 100-Year Storm Event

For the 100-year storm event:

- Peak inflow rate is compared to combined discharge capacity:
 - Drainage well discharge
 - Exfiltration Trench discharge
- Excess inflow during peak periods is temporarily stored in
 - Surface ponding
 - Exfiltration trench void space
- Maximum surface ponding is verified to remain \leq **0.50 ft**

The required storage for a 100-year storm event is:

- Drainage well discharge = 0.779 cfs
- Exfiltration trench discharge = 0.0123 cfs
- Total Outflow = 0.792 cfs
- Excess Flow = 2.3 CFS – 0.792 CFS = 1.508 cfs
 - Water Quality Rate to be Treated is the governing flow as explain in section 10.1
- Peak Duration = 1 hour or 3600 seconds
- **Required Storage = 1.508 CFS x 3600 seconds = 5,430.6 cu ft**
- Surface storage = 4,780.71 cu ft
- Exfiltration trench storage = 5,500 cu ft
- **Total Storage = 10,280.71 CF (sufficient storage capacity)**
 - Storage Margin = 10,280.71 – 5,430.59 = 4,850.12

10.3 10-Year Storm Event

For the 10-year storm event:

- Combined discharge capacity exceeds peak inflow
- No surface ponding is required or permitted
- System operates entirely as a conveyance and infiltration system

The requires storage to stay dry in a 10-year storm event is:

- Peak 10-year, 24-hour storm flow = 1.480 cfs
- Required Storage = 1.480 cfs * 3600 Seconds = 5329.43 cu ft
- **Exfiltration Trench Storage = 5,500 CF (sufficient storage capacity)**
 - Storage Margin = 5,500 – 5,329.43 = 170.57 cu ft

11. CONCLUSION

The proposed drainage system, consisting of surface storage, exfiltration trench storage and discharge, and drainage well discharge, provides adequate performance to:

- Retain the 100-year storm event with surface ponding limited to 6 inches
- Convey the 10-year storm event with zero surface ponding
- Accommodate future water quality treatment requirements

The system configuration may be further optimized by adjusting exfiltration trench length based on final storage and discharge requirements.

APPENDIX A PRELIMINARY STORMWATER CALCULATIONS

Water Quality Calculations - Proposed

City of Fort Lauderdale Fire Rescue Station #13

I. LAND USE:

1	Garages	0.295 ac.	40.21%
2	Asphalt / Sidewalk / Other Imp.	0.000 ac.	0.00%
3	Lake	0.363 ac.	49.48%
4	Lake Banks	0.000 ac.	0.00%
5	Pervious Area	0.000 ac.	0.00%
6	Dry Detention Banks	0.000 ac.	0.00%
7	Landscaping	0.000 ac.	0.00%
8	Total Area	0.076 ac.	10.31%
Total =		0.734 ac.	100%

Total overall impervious surface with building = 89.69%

Is the site within a basin discharging to WNAS? Yes

II. WATER QUALITY CRITERIA:

Quality standards shall be provided during a 25 year, 72 hour storm event for one of the following three combinations:

1. If a wet detention system, then whichever is the greater of the following:
 - a. The first inch of runoff from the entire project site.
 - b. The amount of 2.5 inches times the percent impervious for the project site.
2. Exfiltration trench requires the volume required for the wet detention system.
3. If the site is within a basin that discharges to an Impaired Water Body (Waters Not Attaining Standards - WNAS), must provide an additional 50% of Required Water Quality Volume as reasonable assurance to not impact water quality.

III. WATER QUALITY COMPUTATIONS:

1. Compute the first inch of runoff from the entire developed project site:

$$= 1.00 \text{ inch} \quad \times \quad 0.73 \text{ acres} \quad \times \quad (1 \text{ foot} / 12 \text{ inches})$$

$$= \underline{\underline{0.061 \text{ ac-ft for the first inch of runoff}}}$$
2. Compute 2.5 inches times the percent impervious for the developed project site:
 - a. Site area for water quality pervious / impervious calculations only:

$$= \text{Total Project} - (\text{Lake Area} + \text{Buildings})$$

$$= 0.73 \text{ acres} - (0.00 \text{ acres} + 0.30 \text{ acres})$$

$$= \underline{\underline{0.44 \text{ acres of site area for water quality calculations}}}$$
 - b. Impervious area for water quality pervious / impervious calculations only:

$$= \text{Site area for water quality} - \text{Pervious area}$$

$$= 0.44 \text{ acres} - 0.08 \text{ acres}$$

$$= \underline{\underline{0.36 \text{ acres of impervious area for water quality calculations}}}$$
 - c. Percentage of impervious area for water quality:

$$= \text{Impervious area for water quality} / \text{Site area for water quality} \times 100\%$$

$$= 0.36 \text{ acres} / 0.439 \text{ acres} \times 100\%$$

$$= \underline{\underline{82.75 \% \text{ Impervious}}}$$
 - d. For 2.5 inches times the percentage of impervious area:

$$= 2.5 \text{ inches} \quad \times \quad 82.75 \%$$

$$= \underline{\underline{2.07 \text{ inches to be treated}}}$$
 - e. Compute volume required for quality detention:

$$= \text{Inches to be treated} \times (\text{Total Site Area} - \text{Lake Area})$$

$$= 2.07 \text{ inches} \times (0.73 \text{ acres} - 0.000 \text{ acres}) \times (1 \text{ foot} / 12 \text{ inches})$$

$$= \underline{\underline{0.127 \text{ ac-ft required for detention storage}}}$$
3. The first inch of runoff from the entire developed site = 0.061 ac-ft
 2.5 inches times the percentage of impervious area = 0.127 ac-ft

 Additional 50% if within WNAS (0.000 ac-ft if not within WNAS) = 0.063 ac-ft

WQ volume of 0.190 ac-ft required

Converted into CFS, and discharging over a time period of 1 hour

WQ volume of 2.298 CFS required

Site Description	Value	Units	Notes
Total Site Area	0.734	ac	
Total Site Area	31973.04	sf	
Design Storm	100-yr / 72-hr	—	
Rainfall Depth 100 year storm 72 hour	18.1	in	SFWMD Temporal
Max Ponding Depth	0.5	ft	
Avg Ponding Factor	0.5	—	
Effective Ponding Depth	0.25	ft	
Peak Inflow Rate*	0.334902792	CFS	*100-year storm
Peak Duration Above Capacity	6	hr	
Peak Duration	21600	sec	
Rainfall depth 25-year, 72-hour storm	13.4		SFWMD Temporal
Rainfall depth 5-year, 24-hour storm	7.37		Type II NRCS
Rainfall depth 10-year, 24-hour storm	9.01		Type II NRCS
Peak Duration 5-year, 24-hour storm	1	hr	
Peak Duration 5 year conversion	3600		
Peak Inflow Rate 10-year, 24-hour storm	1.480396159	CFS	

Proposed Land Use Description	Area (ac)	Area (sqft)
Roof	0.295	12850.2
Asphalt	0.363	15812.28
Landscaping	0.076	3310.56
Total	0.734	31973.04
Description	Value	Units
Average Finished Grade	5.412	ft
Future Ground Water elevation	2.5	ft
Static Head	2.912	ft

Runoff Volume

Surface	CN	Area (sf)	Weighted CN
Roof	98	12850.2	1259319.6
Asphalt	98	15812.28	1549603.44
Landscaping	74	3310.56	244981.44
Total	—	31973.04	3053904.48
Weighted CN	96		
AMC III	90		
Potential Retention S	1.07		
Initial Abstraction La	0.21		
Rainfall P	18.1		
Runoff Depth Q	16.88		
Runoff Volume (CF)	49050.23		

Surface Storage

Description	Value	Units
Ponding Area	19122.84	sf
Max Ponding Depth	0.5	ft
Effective Avg Depth	0.25	ft
Surface Storage	4780.71	cf

Peak Routing Calculations

Description	Value	Units	
Peak Inflow 100 year storm 72	0.334902792	CFS	
Peak 10 year storm 24 hour	1.480396159	CFS	
Water Quality Rate to be treated	2.3	CFS	
Well Discharge	0.77916518	CFS	
Exfil Trench Discharge	0.012337462	CFS	
Total Outflow	0.791502642	CFS	
Excess Flow	1.508497358	CFS	
Peak Duration	3600	seconds	
Required Storage	5430.590487	CF	
required storage to stay dry	5329.426172		
Surface Storage	4780.71		
Trench Storage	5500		
Total Storage	10280.71		
Storage Margin	4850.119513		OK
If dry in a 10 year storage from trench drain	5500		
	170.5738276		OK

Drainage Well

Description	Value	Units
Well Rating	120	GPM/ft
Number of wells	1	
Available Head	2.912	ft
Flow (GPM)	349.44	GPM
Flow (CFS)	0.77916518	CFS

Exfiltration Trench

Description	Value	Units
Trench Length	220	LF
Trench Width	15	ft
Trench Depth	5	ft
Void Ratio	0.4	—
Gross Volume/LF	75	
Net Storage/LF	30	
Hydraulic Conductivity	2.48E-05	
Side Area/LF	10	
Bottom Area/LF	15	
Total Area/LF	25	
Effective Sidewall height	2.912	
Sidewall area per LF	5.824	
Total effective infiltration area	1281.28	
Average horizontal path	7.5	
hydraulic gradient	0.388266667	
Exfiltration Discharge	0.012337462	CFS

Darcys Law



architects + engineers

951 Yamato Road, Ste 202
Boca Raton, FL 33431 | tel 772.292.1187

Traffic Statement for:
Fort Lauderdale Fire Rescue Station 13
2871 E. Sunrise Blvd.
Fort Lauderdale, FL 33305

No traffic impact is anticipated at this location since it has been a Fire Rescue Station and will continue as such to serve the beach front community. No additional traffic control is anticipated to be needed at this time. Coordination with FDOT will be part of the Design-Build Firm's responsibilities as this project moves into the next phases of design and construction.

Katrina Pacheco, AIA
Design Criteria Package Designer for
H2M Architects & Engineers, Inc.

Land Use + Soil Storage Calculations

City of Fort Lauderdale Fire Rescue Station #13
 Project No: B24003.00

Designed by: DJM
 Checked by: -
 Date: 7/7/2025

Existing Land Use

Description	Sub-Area (ac)	Area (ac)
Impervious Area		0.55
Building	0.157	
Garages	0.00	
Asphalt / Sidewalk / Other Imp.	0.396	
Lake		0.00
Lake Surface	0.00	
Lake Banks	0.00	
Pervious Area		0.18
Dry Detention Bottom	0.00	
Dry Detention Banks	0.00	
Landscaping	0.182	
Total Area		0.734

Proposed Land Use

Description	Sub-Area (ac)	Area (ac)
Impervious Area		0.66
Building	0.295	
Garages	0.00	
Asphalt / Sidewalk / Other Imp.	0.363	
Lake		0.00
Lake Surface	0.00	
Lake Banks	0.00	
Pervious Area		0.08
Dry Detention Bottom	0.00	
Dry Detention Banks	0.00	
Landscaping	0.076	
Total Area		0.734

Soil Storage

	Existing	Proposed	DATUM
Wet Season Water Table / Control Elevation	0.35	0.35	NAVD 88
Soil Storage Capability (Coastal, Flatwoods, Depressional)	Coastal	Coastal	
Average Site Elevation (Landscaping)	6.21	5.18	NAVD 88
Average Depth to Water Table (Landscaping)	5.86	4.83	ft
Soil Storage Capability (Coastal, w/ 25% reduction)	8.18	8.18	in
Soil Storage (S) Over the Site (Landscaping)	2.02	0.84	in
Soil Storage (S) Over the Site (Entire Site)	2.02	0.84	in
Curve Number (CN) Based on Soil Storage (S)	83.2	92.2	

Water Quality Calculations - Proposed

City of Fort Lauderdale Fire Rescue Station #13
 Project No: B24003.00

Designed by: DJM
 Checked by: -
 Date: 7/7/2025

I. LAND USE:

1	Building	0.295 ac.	40.21%
2	Garages	0.000 ac.	0.00%
3	Asphalt / Sidewalk / Other Imp.	0.363 ac.	49.48%
4	Lake Surface	0.000 ac.	0.00%
5	Lake Banks	0.000 ac.	0.00%
6	Dry Detention Bottom	0.000 ac.	0.00%
7	Dry Detention Banks	0.000 ac.	0.00%
8	Landscaping	0.076 ac.	10.31%
Total =		0.734 ac.	100%

Total overall impervious surface with building = 89.69%

Is the site within a basin discharging to WNAS? Yes

II. WATER QUALITY CRITERIA:

Quality standards shall be provided during a 3 year, 1 hour storm event for one of the following three combinations:

- If a wet detention system, then whichever is the greater of the following:
 - The first inch of runoff from the entire project site.
 - The amount of 2.5 inches times the percent impervious for the project site.
- Exfiltration trench requires the volume required for the wet detention system.
- If the site is within a basin that discharges to an Impaired Water Body (Waters Not Attaining Standards - WNAS), must provide an additional 50% of Required Water Quality Volume as reasonable assurance to not impact water quality.

III. WATER QUALITY COMPUTATIONS:

- Compute the first inch of runoff from the entire developed project site:

$$= 1.00 \text{ inch} \times 0.73 \text{ acres} \times (1 \text{ foot} / 12 \text{ inches})$$

$$= \underline{0.061 \text{ ac-ft for the first inch of runoff}}$$
- Compute 2.5 inches times the percent impervious for the developed project site:
 - Site area for water quality pervious / impervious calculations only:

$$= \text{Total Project} - (\text{Lake Area} + \text{Buildings})$$

$$= 0.73 \text{ acres} - (0.00 \text{ acres} + 0.30 \text{ acres})$$

$$= \underline{0.44 \text{ acres of site area for water quality calculations}}$$
 - Impervious area for water quality pervious / impervious calculations only:

$$= \text{Site area for water quality} - \text{Pervious area}$$

$$= 0.44 \text{ acres} - 0.08 \text{ acres}$$

$$= \underline{0.36 \text{ acres of impervious area for water quality calculations}}$$
 - Percentage of impervious area for water quality:

$$= \text{Impervious area for water quality} / \text{Site area for water quality} \times 100\%$$

$$= 0.36 \text{ acres} / 0.439 \text{ acres} \times 100\%$$

$$= \underline{82.75 \% \text{ Impervious}}$$
 - For 2.5 inches times the percentage of impervious area:

$$= 2.5 \text{ inches} \times 82.75 \%$$

$$= \underline{2.07 \text{ inches to be treated}}$$
 - Compute volume required for quality detention:

$$= \text{Inches to be treated} \times (\text{Total Site Area} - \text{Lake Area})$$

$$= 2.07 \text{ inches} \times (0.73 \text{ acres} - 0.000 \text{ acres}) \times (1 \text{ foot} / 12 \text{ inches})$$

$$= \underline{0.13 \text{ ac-ft required for detention storage}}$$
- The first inch of runoff from the entire developed site = 0.061 ac-ft
 2.5 inches times the percentage of impervious area = 0.127 ac-ft
 Additional 50% if within WNAS (0.000 ac-ft if not within WNAS) = 0.063 ac-ft

WQ volume of 0.190 ac-ft required



Drainage Well Calculations - Proposed

City of Fort Lauderdale Fire Rescue Station #13
 Project No: B24003.00

Designed by: DJM
 Checked by: -
 Date: 7/7/2025

I. WATER QUALITY VOLUME UNIT CONVERSION

WQ volume of 0.190 ac-ft required

Converted into CFS, and discharging over a time period of 1 hour

WQ volume of 2.298 CFS required

II. DRAINAGE WELL CALCULATIONS:

1. Design Information:

Drainage Well Design Flow Capacity:	120 GPM/Feet of head
Control Structure Weir Elevation:	5.8 NAVD 88
Wet Season Water Table / Control Elevation:	0.35 NAVD 88
Head:	5.45 Feet

2. Calculate Total Flow in GPM Total Flow = Drainage Well Capacity x Head (feet)

Total Flow:	654.00 GPM
-------------	------------

3. Convert GPM to Total Gallons Total Gallons = Total Flow x Time (minutes)

Time:	60.00 Minutes
Total Gallons:	39,240.00 Gallons

4. Convert Gallons to Acre-Feet Acre-Feet = Total Gallons / (325, 851 gal/ac-ft)

WQ Volume (in acre-feet)	0.120 ac-ft
--------------------------	-------------

WQ volume required to be treated	0.190	ac-ft required
WQ Volume to be treated by Drainage Well	0.120	ac-ft
WQ Volume to be treated by Exfiltration Trench	0.070	ac-ft



Exfiltration Trench Calculations - Proposed

City of Fort Lauderdale Fire Rescue Station #13
 Project No: B24003.00

Designed by: DJM
 Checked by: -
 Date: 7/7/2025

EXFILTRATION TRENCH CALCULATIONS:

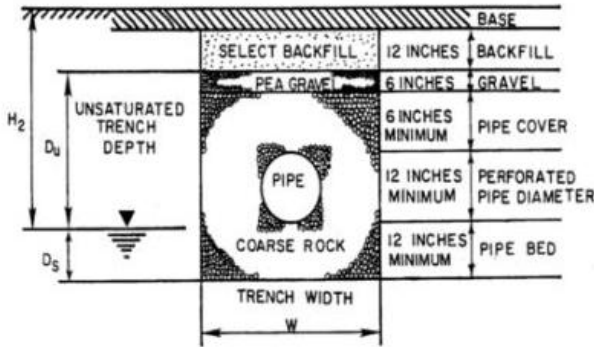
1. Design Formula: $L = 2 * (0.5 * V_{wq} + V_{add}) / (K((2 * H_2 * D_u) - (D_u^2) + (2 * H_2 * D_s)) + (1.39 * 10^{-4} * W * D_u))$
2. Design Information:

Weir Needed in ET System?	yes		
Weir Elevation	5.81 ft.		
V_{wq} = Water Quality Vol. to be Exfiltrated:	0.83 ac-in	3.28"xSite =	0.20 ac-ft
V_{add} = Add. Storage Vol. in 1 hour (up to $3.28 * x_{Site} - V_{wq}$):	1.57 ac-in		2.41 ac-in
W = Trench Width:	10.00 ft.		
K = Hydraulic Conductivity:	2.480E-05 cfs/sq-ft per ft head		
H ₂ = Depth of Water Table:	5.46 ft.		
D _u = Non-Saturated Trench Depth:	2.50 ft.		
D _s = Saturated Trench Depth:	1.00 ft.		
Total Trench Depth:	3.50 ft.		

3a. Exfiltration Trench Required (Quality): 195 ft.

4. Exfiltration Trench Provided: **224 ft.**
5. Storage Provided:

Exfiltration Trench Vol Provided (Quality):	0.070 ac-ft
Exfiltration Trench Vol Provided (Additional Storage):	0.000 ac-ft
Total Exfiltration Trench Vol Provided:	0.070 ac-ft



Thickness (in)	Elev (ft)	Description
	4.35	Lowest Inlet
6		Asphalt + Base Thickness
12		Select Backfill
	2.85	Top of Trench (Top of Pea Gravel)
6		Pea Gravel
6		Pipe Cover (Min. 6")
	5.81	Weir Elevation (if applicable)
	1.85	Inside Top of Pipe
18		Pipe Size (Min. 12")
	0.35	Invert of Pipe
12		Pipe Bed (Min. 12")
	-0.65	Bottom of Trench
	0.35	Water Table / Control Water Elevation

From: [Katrina Pacheco](#)
To: [Karlanne Devonish](#)
Subject: FW: [EXTERNAL:CAUTION!]- City of Fort Lauderdale LauderBuild Application ENG-CR-25090007 Requires Additional Information
Date: Thursday, February 26, 2026 3:14:45 PM

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Do Not Reply, click links, or open attachments from an unknown or suspicious origin. Confirm the email address is from an expected source before taking action.
Report any suspicious emails to spamadmin@fortlauderdale.gov**

Email regarding Capacity Request for Station #13 below, as requested.

Katrina N. Pacheco, AIA, NCARB
Studio Director

H2M architects + engineers
433 River Street, Suite 8002, Troy, NY 12180
tel 518.765.5105 x2033 | mobile 518.944.5460 | fax 518.765.5107

From: Ivey Kearson <IKearson@fortlauderdale.gov>
Sent: Monday, October 27, 2025 11:09 AM
To: David Pacheco <DPacheco@H2M.com>; Katrina Pacheco <KPacheco@H2M.com>
Cc: Wilfredo Negron <WNegron@fortlauderdale.gov>
Subject: Fw: [EXTERNAL:CAUTION!]- City of Fort Lauderdale LauderBuild Application ENG-CR-25090007 Requires Additional Information

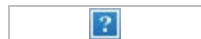
External Email! *Think before you click*

Good morning Team,
Please see comments below from DSD.



Ivey Kearson III | Project Manager II
Engineering Division | Public Works Department
City of Fort Lauderdale
101 NE 3rd Avenue, Suite 2100, Fort Lauderdale, FL 33301
O: 954-828-5389 | C: 305-778-1189

E: ikearson@fortlauderdale.gov



From: City of Fort Lauderdale-No Reply <noreply@fortlauderdale.gov>

Sent: Monday, October 27, 2025 10:51 AM

To: Ivey Kearson <IKearson@fortlauderdale.gov>

Subject: [EXTERNAL:CAUTION!]- City of Fort Lauderdale LauderBuild Application ENG-CR-25090007
Requires Additional Information



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-

LauderBuild Application Requires Attention

The Development Services Department (DSD) has reviewed your initial application submittal for record number **ENG-CR-25090007** and has determined that additional information is needed before processing can continue. Please see the following comments.

Address: 2871 E SUNRISE BLVD
Record Number: ENG-CR-25090007
Application Name:
Description:

Intake Comments: Please upload: • Project Narrative • Development Review Committee (DRC) Case# • Site Plan with existing and proposed water and sewer connections. Please email plan@fortlauderdale.gov to obtain existing City Utility map. • Equivalent Residential Connection (ERC) Calculations including existing and proposed usage ? Please provide fire flow demand requirements in gpm and duration (hrs) per NFPA Table 18.4.5.2.1- advise if building is sprinklered.

If the comments indicate additional files are required to be uploaded, please return to your

[LauderBuild](#) account to upload the project plans and any specifications or other supporting documents. The application will not be reviewed until the required plans are uploaded in the LauderBuild Plan Room (LPR). Please view the help guide linked here for help or contact DSD Customer Service if you need additional assistance.

[Video Tutorial: Submitting Plans](#)

You may visit [LauderBuild](#) to review the processing status at any time by going to the **Record Details page** and selecting **Record Info > Processing Status** or **Plan Room > Summary**, if you are logged in to your account.

Thank you,
Development Services Department (DSD)
700 NW 19th Avenue
Fort Lauderdale, FL 33311
Open 8 am to 4 pm
954-828-6520

CONFIDENTIALITY NOTICE: Thanking you in advance for your cooperation, the information contained in this message and any attachments is intended only for the use of the individual(s) named above. If the person actually receiving this email is not the named or intended recipient, any use, dissemination, distribution, or copying of this communication is prohibited. If you have received this communication in error, please immediately notify us by email that this message has been inadvertently transmitted to you and kindly delete this e-mail from your system. We appreciate your time and attention.

From: [Katrina Pacheco](#)
To: Chris@HomesInCoralRidge.com
Cc: [Karlanne Devonish](#); [Ivey Kearson](#); ftld2501@project.h2m.com
Subject: [EXTERNAL:CAUTION!]- DRC Fire & Rescue Station #13, 2871 E. Sunrise Blvd., UDP-25057
Date: Tuesday, March 3, 2026 11:08:43 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

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To Whom It May Concern:

This email serves to notice the Coral Ridge Association, Inc. of the upcoming Development Review Committee meeting for the following two projects to be held on this date:

Date: March 24, 2026

Time: 9:45am for Fire Station #13

10am for Fire Station #88

Place: Development Services Department

700 NW 19 Avenue

Fort Lauderdale, FL 33311

While this neighborhood association is NOT within 300 feet of this [highlighted] proposed project, it is good practice to notify nearby associations. Thank you for your attention.

Sincerely,

Katrina N. Pacheco, AIA, NCARB
Studio Director

H2M architects + engineers

433 River Street, Suite 8002, Troy, NY 12180

tel 518.765.5105 x2033 | fax 518.765.5107

h2m.com



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CITY OF
FORT LAUDERDALE



February 12, 2026

Development Services Department
Urban Design & Planning Division
700 NW 19 Avenue
Fort Lauderdale, FL 33311

Re: Authorized Agent for City of Fort Lauderdale
PZB Site Plan Permit for P10918 Fire Rescue Station 13
2871 E Sunrise Boulevard, Fort Lauderdale, FL 33304

To whom it may concern:

This letter serves as notification to the City of Fort Lauderdale Development Services Department that Colette Satchell, Director of the Capital Projects Department, and the approved consultant, H2M Architects + Engineers, or the design build firm selected by the City, are authorized to act as agents of City of Fort Lauderdale for the processing and approval of the development permit application for the property referenced above.


Sincerely,

Rickelle Williams
City Manager
City of Fort Lauderdale

Sworn to and subscribed before me, the undersigned Notary Public, this 12 day of

February 20 2026.

Notary Public
Gina Rizzuti-Smith
Printed Name

Notary Public Commission expires  GINA RIZZUTI-SMITH
Commission # HH 607898
Expires October 29, 2028

c: Quentin Pough, Assistant City Manager
Colette Satchell, Director of Capital Projects
Kristin Thompson, Division Manager of Capital Projects



December 19, 2025

Applicant

TIIF/DNR Div Rec & Parks; Hugh Taylor Birch
DEP Douglas Bldg
Tallahassee, Florida 32999

Agent

Katrina Pacheco c/o H2M Architects & Engineers, Inc.
kpacheco@h2m.com, 518-600-9648

Dear Applicant:

This letter provides the status of the development application described below, which the City has been reviewed to determine whether the application is complete in accordance with Section 166.033(1), State Statute, as amended.

CASE	UDP-S25057	
PROJECT NAME	Fire Station #13	
APPLICATION TYPE	Site Plan Level IV	
APPROVAL LEVEL	City Commission	
REQUEST	Site Plan Level IV: Public Purpose Use to Construct a New Fire Station	
APPLICANT	City of Fort Lauderdale	
AGENT	Katrina Pacheco c/o H2M Architects & Engineers, Inc.	
PROPERTY ADDRESS	2871 East Sunrise Boulevard	
ABBREVIATED LEGAL DESCRIPTION	36-49-42 Lot 1 Less Par 1 & 3 AS	
ZONING DISTRICT	Park Recreation and Open Space (P) District	
LAND USE	Conservation	
COMMISSION DISTRICT	2 – Steven Glassman	
NEIGHBORHOOD ASSOCIATION	N/A	
	DATE	DETERMINATION
SUBMITTED	December 16, 2023	Online Submittal Accepted
STATUS	December 19, 2025	INCOMPLETE
ADDRESS DEFICIENCIES BY	January 18, 2026	(INDICATE 30 Days)
DEFICIENCIES	The following are missing: 1. Application. Signatures by Owner / Agent Letter 2. Agent Authorization Letter. 3. Address Verification. 4. Water and Wastewater Capacity Request	
CASE PLANNER	Karlanne Devonish	

In accordance with Section 166.033(1), Florida Statutes, the applicant has 30 days to address the deficiencies in this letter or the City will deem the application withdrawn.

A minimum of 21 days prior to the scheduled DRC or Administrative Review meeting, the applicant is required to provide a notice of the upcoming meeting to any official city-recognized civic association(s) within 300 feet of the project, notifying the date, time, and location of the DRC meeting. A minimum of 10 days prior to the DRC meeting, the applicant will then submit an affidavit documenting that notice was provided to the applicable civic associations.

If there are any questions regarding this notice, please contact the case planner at kdevonish@fortlauderdale.gov or 954-828- 6162.

Sincerely,

Karlanne Devonish, AICP, Principal Urban Planner
Urban Design and Planning Division



February 27, 2026

Applicant

TIITF/DNR Div Rec & Parks; Hugh Taylor Birch
DEP Douglas Bldg
Tallahassee, Florida 32999
City of Fort Lauderdale
101 NE 3 Avenue, Suite 2100
Fort Lauderdale, FL 33301

Agents

Colette Satchell, Capital Projects Department,
City of Fort Lauderdale
csatchell@fortlauderdale.gov, 954-828-3134
Katrina Pacheco, H2M Architects + Engineers, Inc.
kpacheco@h2m.com, 518-600-9648

Dear Applicant:

This letter provides the status of the development application described below, which the City has been reviewed to determine whether the application is complete in accordance with Section 166.033(1), State Statute, as amended.

CASE	UDP-S25057	
PROJECT NAME	Fire Station #13	
APPLICATION TYPE	Site Plan Level IV	
APPROVAL LEVEL	City Commission	
REQUEST	Site Plan Level IV: Public Purpose Use to Construct a New Fire Station	
APPLICANT	City of Fort Lauderdale	
AGENT	Katrina Pacheco, H2M Architects + Engineers, Inc.	
PROPERTY ADDRESS	2871 East Sunrise Boulevard	
ABBREVIATED LEGAL DESCRIPTION	36-49-42 Lot 1 Less Par 1 & 3 AS	
ZONING DISTRICT	Park Recreation and Open Space (P) District	
LAND USE	Parks-Open Space, Conservation	
COMMISSION DISTRICT	2 – Steven Glassman	
NEIGHBORHOOD ASSOCIATION	N/A	
	DATE	DETERMINATION
SUBMITTED	December 16, 2025	Online Submittal Accepted
STATUS	February 27, 2026	COMPLETE
APPROVAL/DENIAL TIMEFRAME	August 26, 2026	180 DAYS
DRC MEETING DATE	March 24, 2026	
CASE PLANNER	Karlanne Devonish	

In accordance with Section 166.033(1), Florida Statutes, the City will approve, approve with conditions, or deny the application within 180 days of the date of this letter, **August 26, 2026**. The applicant may request a waiver to this timeline by completing the waiver sent via email.

A minimum of 21 days prior to the scheduled DRC or Administrative Review meeting, the applicant is required to provide a notice of the upcoming meeting to any official city-recognized civic association(s) within 300 feet of the project, notifying the date, time, and location of the DRC meeting. A minimum of 10 days prior to the DRC meeting, the applicant will then submit an affidavit documenting that notice was provided to the applicable civic associations.

If there are any questions regarding this notice, please contact the case planner at kdevonish@fortlauderdale.gov or 954-828- 6162.

Sincerely,

Karlanne Devonish, AICP, Principal Urban Planner
Urban Design and Planning Division



**CITY OF FORT LAUDERDALE
DEVELOPMENT SERVICES DEPARTMENT**

ADDRESS VERIFICATION CONFIRMATION

Verification Request #: BLD-ADDVER-25120009
Completion Date: 12/22/2025
Purpose of Address Request: To verify an existing address for DRC

PROPERTY INFORMATION

The property Information is listed below. If the property has more than one address, please note that more than one folio number will be listed

Folio Number: 494236000010
Address: 3109 E SUNRISE BLVD, FORT LAUDERD
Legal Description: 36-49-42 LOT 1 LESS PAR 1 & 3 AS IN PB 17/13,PT OF LOT 2 LYING E OF INTRAC
Folio Number: 494236000010
Address: 2871 E SUNRISE BLVD, FORT LAUDERD
Legal Description: 36-49-42 LOT 1 LESS PAR 1 & 3 AS IN PB 17/13,PT OF LOT 2 LYING E OF INTRAC

Requestor Name: Katrina Pacheco
Requestor Email: kpacheco@h2m.com
Requestor Phone: 5189445460

Verified / Assigned Address: 2871 E SUNRISE BLVD, FORT LAUDERD
Former / Known As Address: 3109 E SUNRISE BLVD, FORT LAUDERD
Authorized City Representative: JAZMINE EVEILLARD

Notes (If Applicable): The issuance or inclusion of this address in the City's database does not imply or guarantee permit approval, nor does it confirm that the associated location complies with permitting requirements. All properties must meet the applicable development standards as outlined in the Unified Land Development Regulations (ULDR) and the Florida Building Code (FBC).



Property Address	2871 E SUNRISE BOULEVARD, FORT LAUDERDALE FL 33305	ID #	4942 36 00 0010
Property Owner	TIITF/DNR DIV REC & PARKS HUGH TAYLOR BIRCH ST PARK	Millage	0312
Mailing Address	DEP DOUGLAS BLDG TALLAHASSEE FL 32399	Use	82-02
Abbr Legal Description	36-49-42 LOT 1 LESS PAR 1 & 3 AS IN PB 17/13,PT OF LOT 2 LYING E OF INTRACOASTAL W/W R/W ALSO THAT PT OF NEW RIVER SOUND IN NE1/4 OF SEC 36 LYING E OF INTRACOASTAL W/W R/W & PT OF LOT 5 LYING E OF INTRA W/W R/W, LOT 6 LESS PAR 6 AS IN PB 17/13 & LESS RD R/W,ALSO THAT PT OF NEW RIVER SOUND IN THE SE1/4 LYING E OF INTRACOASTAL W/W R/W		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.,** and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8).**

* 2026 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2026	\$37,799,210	\$1,862,010	\$39,661,220	\$39,661,220	
2025	\$37,799,210	\$1,862,010	\$39,661,220	\$39,661,220	
2024	\$37,799,210	\$1,862,010	\$39,661,220	\$39,661,220	

2026 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$39,661,220	\$39,661,220	\$39,661,220	\$39,661,220
Portability	0	0	0	0
Assessed/SOH	\$39,661,220	\$39,661,220	\$39,661,220	\$39,661,220
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type 10	\$39,661,220	\$39,661,220	\$39,661,220	\$39,661,220
Taxable	0	0	0	0

Sales History			
Date	Type	Price	Book/Page or CIN

Land Calculations		
Price	Factor	Type
\$10.00	3,779,921	SF
Adj. Bldg. S.F. (Card, Sketch)		23127
Units		2
Eff./Act. Year Built: 1972/1968		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
X								
23127								