



DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 06/14/2024

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR), Section 47-24, Development Permits and Procedures, and must be filled out accurately with all applicable sections completed. Only complete the sections indicated for application type with N/A for those items not applicable. Refer to "Specifications for Plan Submittal" by application type for submittal requirements, which can be found on the City's website.

Select the application type and approval level in **SECTION A** and complete the sections specified under each type.

A APPLICATION TYPE AND APPROVAL LEVEL Select the application type from the list below and check the applicable type.

<input type="checkbox"/> LEVEL I ADMINISTRATIVE REVIEW COMMITTEE (ADMIN) <input type="checkbox"/> New nonresidential less than 5,000 square feet <input type="checkbox"/> Change of use <i>(if same impact or less than existing use)</i> <input type="checkbox"/> Plat note or Nonvehicular access line (NVAL) amendment <input type="checkbox"/> Administrative site plan <input type="checkbox"/> Amendment to site plan* <input type="checkbox"/> Affordable Housing per §166.04151(7) Fla. Stat. <i>(Live Local Act)</i> <input type="checkbox"/> Property and right-of-way applications <i>(MOTs, construction staging)</i> <input type="checkbox"/> Parking Agreements <i>(separate from site plans)</i> COMPLETE SECTIONS B, C, D, G	<input type="checkbox"/> LEVEL II DEVELOPMENT REVIEW COMMITTEE (DRC) <input type="checkbox"/> New Nonresidential 5,000 square feet or greater <input type="checkbox"/> Residential 5 units or more <input type="checkbox"/> Nonresidential use within 100 feet of residential property <input type="checkbox"/> Redevelopment proposals <input type="checkbox"/> Change in use <i>(if greater impact than existing use)</i> <input type="checkbox"/> Development in Regional Activity Centers (RAC)* <input type="checkbox"/> Development in Uptown Project Area* <input type="checkbox"/> Regional Activity Center Signage <input type="checkbox"/> Affordable Housing (≥10%) COMPLETE SECTIONS B, C, D, E, F	<input type="checkbox"/> LEVEL III PLANNING AND ZONING BOARD (PZB) <input type="checkbox"/> Conditional Use <input type="checkbox"/> Parking Reduction <input type="checkbox"/> Flex Allocation <input type="checkbox"/> Cluster / Zero Lot Line <input type="checkbox"/> Modification of Yards* <input type="checkbox"/> Waterway Use <input type="checkbox"/> Mixed Use Development <input type="checkbox"/> Community Residences* <input type="checkbox"/> Social Service Residential Facility (SSRF) <input type="checkbox"/> Medical Cannabis Dispensing Facility* <input type="checkbox"/> Community Business District for uses greater than 10,000 square feet COMPLETE SECTIONS B, C, D, E, F	<input checked="" type="checkbox"/> LEVEL IV CITY COMMISSION (CC) <input type="checkbox"/> Land Use Amendment <input type="checkbox"/> Rezoning <input type="checkbox"/> Plat <input checked="" type="checkbox"/> Public Purpose Use <input type="checkbox"/> Central Beach Development of Significant Impact* <input type="checkbox"/> Vacation of Right-of-Way City Commission Review No PZB Review <input type="checkbox"/> Vacation of Easement* COMPLETE SECTIONS B, C, D, E, F
<input type="checkbox"/> MISCELLANEOUS <input type="checkbox"/> Affordable Workforce Housing Tax Reimbursement <input type="checkbox"/> Community Residence <input type="checkbox"/> Construction Noise Waiver <input type="checkbox"/> Design Review Team (DRT) COMPLETE SECTIONS B, C, D, I	<input type="checkbox"/> EXTENSION OR DEFERRAL <input type="checkbox"/> Request to defer after an application is scheduled for public hearing <input type="checkbox"/> Request extension to previously approved application <i>(request must be within original approval date timeframe)</i> COMPLETE SECTIONS B, C, H	<input type="checkbox"/> APPEAL <input type="checkbox"/> Appeal decision by approving body and De Novo hearing items COMPLETE SECTIONS B, C, H	<input type="checkbox"/> PROPERTY AND RIGHT-OF-WAY <input type="checkbox"/> Road Closures <input type="checkbox"/> Construction Staging Plan <input type="checkbox"/> Revocable licenses COMPLETE SECTIONS B, C, H

*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

B APPLICANT INFORMATION If applicant is the business operator, complete the agent column and provide property owner authorization.

Applicant/Property Owner	CITY OF FORT LAUDERDALE	Authorized Agent	Katrina Pacheco c/o H2M Architects & Engineers, Inc
Address	528 NW 2 ST.	Address	951 Yamato Road, Suite 202
City, State, Zip	Fort Lauderdale, FL 33311	City, State, Zip	Boca Raton, FL 33431
Phone		Phone	518-600-9648
Email		Email	kpacheco@h2m.com
Proof of Ownership		Authorization Letter	Provided
Applicant Signature:	Signature	Agent Signature:	<i>Katrina M. Pacheco</i>

C PARCEL INFORMATION

Address/General Location	507 SE 11 CT FORT LAUDERDALE FL 33316
Folio Number(s)	504215010360
Legal Description (Brief)	LAUDERDALE 2-9 D LOT 19,20 BLK 4
City Commission District	4 - Warren Sturman
Civic Association	Downtown Fort Lauderdale

D LAND USE INFORMATION

Existing Use	Vacant
Land Use	Vacant Governmental
Zoning District	RO
Proposed <small>Applications requesting land use amendments and rezonings.</small>	
Proposed Land Use	Emergency Medical/Fire Rescue Station
Proposed Zoning District	RO



E PROJECT INFORMATION

Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.

Project Name	Emergency Medical Station #88			
Project Description <i>(Describe in detail)</i>	A new fire station shall be constructed on the vacated parcel. The proposed layout is a two-story concrete masonry and steel structure with a penthouse levels accommodating enclosure of mechanical and electrical systems, including a backup generator, to protect as many systems within the building envelope as possible from high winds and airborne debris. The ground floor storage and garage areas of the station are elevated one foot above base flood elevation (BFE+1') to protect living and workspaces for the Fire Rescue Department. All living spaces and office areas, and mechanical/electrical equipment spaces, are raised a minimum of BFE+3'			
Estimated Project Cost	\$ TBD <i>(Estimated total project cost including land costs for all new development applications only)</i>			
Waterway Use	No			
Flex Units	N/A	Redevelopment Units	N/A	
Flex Acreage	N/A			
Residential Uses				
Single Family	N/A			
Townhouses	N/A			
Multifamily	N/A			
Cluster/Zero Lot Line	N/A			
Other	N/A			
Total <i>(dwelling units)</i>	N/A			
Residential Unit Mix	Efficiency / Studio	N/A	1- Bedroom	N/A
Affordable Housing Units	N/A		% of AMI	
Affordable Unit Mix	Efficiency / Studio	N/A	1- Bedroom	N/A
			Traffic Study Required	No
			Parking Reduction	Yes
			Public Participation	No
			Non-Residential Uses	
			Commercial	N/A
			Restaurant	N/A
			Office	Fire Station
			Industrial	N/A
			Other	N/A
			Total <i>(square feet)</i>	N/A
			2-Bedroom	N/A
			3-Bedroom or More	N/A

F PROJECT DIMENSIONAL STANDARDS

Indicate all required and proposed standards for the project. Circle yes or no where indicated.

	Required Per ULDR	Proposed
Lot Size <i>(Square feet/ acres)</i>	10,000 (Square feet) minimum	13,450 (Square feet)
Lot Density <i>(Units/ acres)</i>	Unlimited Du/Acre	N/A
Lot Width	100'	100'
Building Height <i>(Feet)</i>	55'	53'-6"
Structure Length	N/A	73'
Floor Area Ratio <i>(F.A.R.)</i>	N/A	N/A
Lot Coverage	30%	29%
Open Space	N/A	N/A
Landscape Area	35%	15%
Parking Spaces	14	9
SETBACKS <i>(Indicate direction N,S,E,W)</i>	Required Per ULDR	Proposed
Front South	25'	56'
Side East	10' or half the height of tallest building, whichever is greater	5'
Corner / Side West	10' or half the height of tallest building, whichever is greater	38'
Rear North	20'	5'

For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.

	Required Per ULDR	Proposed	Deviation
Tower Stepback			
Front / Primary Street	N/A	N/A	Not Applicable
Sides / Secondary Street	N/A	N/A	Not Applicable
Building Height	N/A	N/A	Not Applicable
Streetwall Length	N/A	N/A	Not Applicable
Podium Height	N/A	N/A	Not Applicable
Tower Separation	N/A	N/A	Not Applicable
Tower Floorplate <i>(square feet)</i>	N/A	N/A	Not Applicable
Residential Unit Size <i>(minimum)</i>	N/A	N/A	Not Applicable

G AMENDED PROJECT INFORMATION

Provide approved and proposed amendments for project. Circle yes or no where indicated.

Project Name			
Proposed Amendment Description <i>(Describe in detail)</i>			
	Original Approval	Proposed Amendment	Amended
Residential Uses <i>(dwelling units)</i>			
Non-Residential Uses <i>(square feet)</i>			
Lot Size <i>(Square feet/ acres)</i>			
Lot Density <i>(Units/ acres)</i>			
Lot Width			
Building Height <i>(Feet)</i>			
Structure Length			
Floor Area Ratio <i>(F.A.R.)</i>			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate <i>(square feet)</i>			
Residential Unit Size <i>(minimum)</i>			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			



H EXTENSION, DEFERRAL, APPEAL INFORMATION Provide information for specific request. Circle approving body and yes or no.

Project Name		
Request Description		
EXTENSION REQUEST	DEFERRAL REQUEST	APPEAL REQUEST / DE NOVO HEARING
Approving Body	Approving Body	Approving Body
Original Approval Date	Scheduled Meeting Date	30 Days from Meeting <i>(Provide Date)</i>
Expiration Date <i>(Permit Submittal Deadline)</i>	Requested Deferral Date	60 Days from Meeting <i>(Provide Date)</i>
Expiration Date <i>(Permit Issuance Deadline)</i>	Previous Deferrals Granted	Appeal Request
Requested Extension <i>(No more than 24 months)</i>	Justification Letter Provided	Indicate Approving Body Appealing
Code Enforcement <i>(Applicant Obtain by Code Compliance Division)</i>	*Note: Deferral requests are subject to a fee per deferral. See Fee Schedule for amount.	
		De Novo Hearing Due to City Commission Call-Up

I MISCELLANEOUS Provide information on the specific request.

Project Name		
Request Description		
AFFORDABLE HOUSING TAX REIMBURSEMENT*	COMMUNITY RESIDENCE	NOISE WAIVER*
As Is Value \$	Residence Type	DRC Case Number
<i>Date</i>	Certification	Request Start Date
Completion Value \$	Length of Stay	Request End Date
<i>Date</i>	Number of Residents	Construction Start Time
Stabilized Value \$	Number of Live-in Staff	Construction End Time
<i>Date</i>	Habitable Rooms	Sunday Construction Times
Acquisition Value \$	Gross Floor Area	Noise Mitigation Plan Date of Plan
<i>Date</i>	DEVELOPMENT REVIEW TEAM (DRT)* <i>Complete Section F</i>	
		Previous Extension Resolution No. <i>(if applicable)</i>

*Application is subject to specific fees based on hourly rate with minimum amount of: DRT \$477, Affordable Housing Tax Reimbursement \$2,500, Noise Waiver \$954

CHECKLIST FOR SUBMITTAL AND COMPLETENESS: The following outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

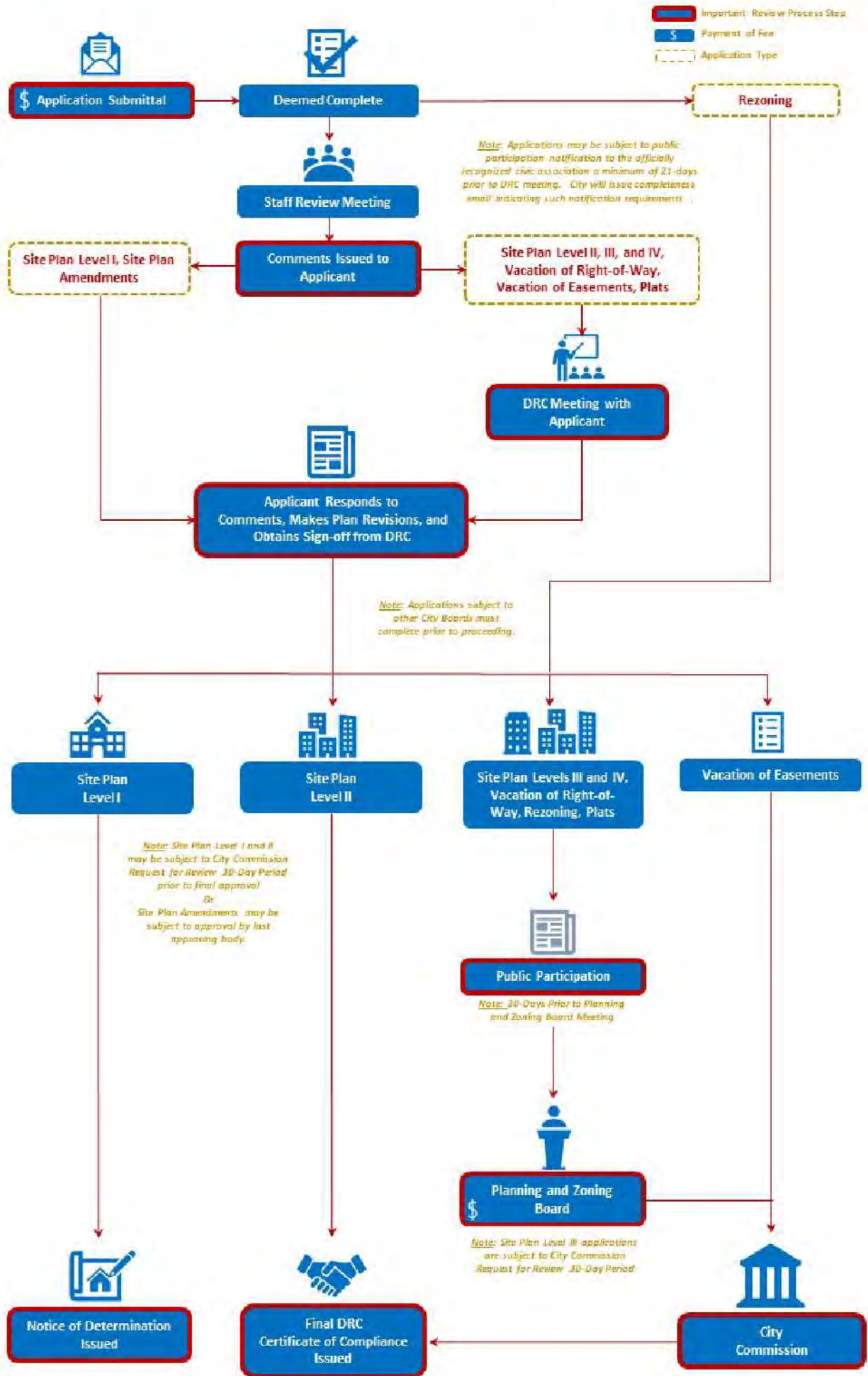
- Preliminary Development Meeting** completed on the following date: September 17, 2025
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** that includes all parcels within the proposed development.
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS: Submittals must be conducted through [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delay in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.



DRC PROCESS OVERVIEW: Below is the development review process flowchart with key steps to guide applicants.



CONTACT INFORMATION: Questions regarding the development process or LauderBuild, see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS

Planning Counter
 954-828-6520, Option 5
planning@fortlauderdale.gov

LAUDERBUILD ASSISTANCE AND QUESTIONS

DSD Customer Service
 954-828-6520, Option 1
lauderbuild@fortlauderdale.gov

City of Fort Lauderdale - Station

#88

DCP-P12328 TASK 2



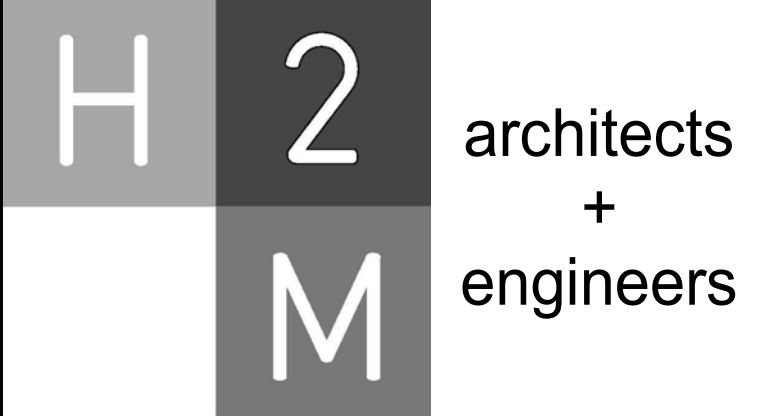
CITY OF FORT LAUDERDALE

507 SE 11th Ct.
Fort Lauderdale, FL 33316

FTLD2502
JULY 2025



Sheet List	
Sheet Number	Sheet Name
G 000	COVER SHEET
1	SURVEY (REFERENCE)
C-01	COVER (CIVIL)
C-02	LEGEND & ABBREVIATIONS
C-03	GENERAL NOTES
C-04	DEMOLITION PLAN
C-05	PROPOSED STORMWATER DRAINAGE PLAN
C-06	PROPOSED WATER AND SEWER PLAN
C-07	PROPOSED GRADING AND PAVING PLAN
C-08	PROPOSED SIGNAGE PLAN
C-09	CIVIL STANDARD DETAILS (1)
C-10	CIVIL STANDARD DETAILS (2)
C-11	EROSION CONTROL DETAILS
C-12	EROSION CONTROL PLAN
LS 100	CONCEPTUAL TREE DISPOSITION PLAN
LS 100	CONCEPTUAL LANDSCAPE SITE LAYOUT
A 101	SCHEMATIC PLAN - FIRST FLOOR
A 102	SCHEMATIC PLANS - MEZZANINE AND SECOND FLOOR
A 130	SCHEMATIC ROOF PLAN
A 200	SCHEMATIC BUILDING ELEVATIONS



951 Yamato Road, Suite 202
Boca Raton, FL 33431
772.292.1187 • www.h2m.com

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

DESIGNED BY: D. PACHECO	DRAWN BY: A. DUJIN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2502	DATE: JULY 2025	SCALE: AS SHOWN	

City of Fort Lauderdale - Station #88
DCP-P12328 TASK 2

507 SE 11th Ct.
Fort Lauderdale, FL 33316

STATUS: DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

DRAWING No. **G 000.00**



CITY OF FORT LAUDERDALE

PROJECT No. P-12328 EMERGENCY MEDICAL SUB-STATION #88 507 SE 11TH COURT FORT LAUDERDALE, FL 33316

FORT LAUDERDALE, FLORIDA
30% DESIGN
NOT FOR CONSTRUCTION



880 SW 145TH AVE
SUITE 106
PEMBROKE PINES, FL 33027
PHONE: 954-613-4353
www.cesconsult.com
CERTIFICATE OF AUTHORIZATION No. 8811

**DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING**

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

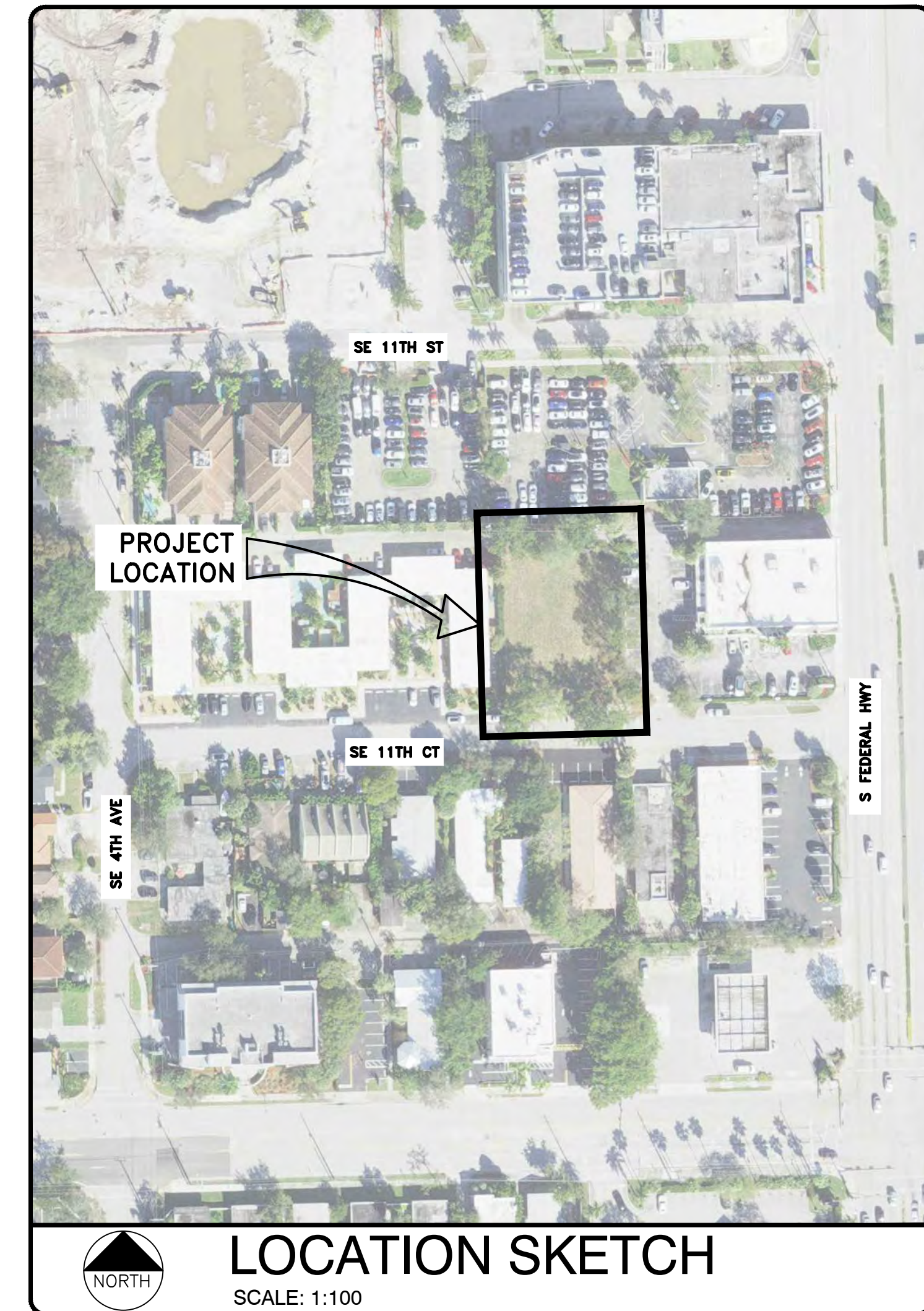
PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.
Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER
SHOULD BE ANTICIPATED ON THIS
PROJECT. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR
ADDRESSING THIS ISSUE.

VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE
BASED ON THE NORTH ATLANTIC
VERTICAL DATUM OF 1988.
NAVD '88 + 1.51' = NGVD '29 ELEVATION



PROJECT No. P-12328
EMERGENCY MEDICAL SUB-STATION #88
507 SE 11TH COURT
FORT LAUDERDALE, FL 33316

 **CITY OF FORT LAUDERDALE**
PUBLIC WORKS DEPARTMENT
ENGINEERING
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

FORT LAUDERDALE CITY COMMISSION

DEAN J. TRANTALIS	MAYOR
JOHN HERBST	COMMISSIONER - DISTRICT I
STEVEN GLASSMAN	COMMISSIONER - DISTRICT II
PAMELA BEASLEY-PITTMAN	COMMISSIONER - DISTRICT III
BEN SORENSEN	COMMISSIONER - DISTRICT IV

PROJECTMANAGER NAME	PMTITLE PROJECT MANAGER	PMPHONE ###-###-####

DATE: 08/15/2025
CAD FILE: 12328-C01-COVR.dwg
DRAWING FILE No.: C-01

30% DESIGN

NO.	DATE	BY	CHK'D	DESCRIPTION
1	8.15.2025	M.V.	D.M.	30% SUBMITTAL

PROJECT # P-12328
EMERGENCY MEDICAL SUB-STATION #88
LEGEND & ABBREVIATIONS

ABBREVIATIONS:

- | | |
|---|---|
| A = ARC LENGTH | L.P. = LIGHT POLE |
| A.D.A = AMERICANS WITH DISABILITIES ACT | M.H. = MANHOLE |
| B.C.R. = BROWARD COUNTY RECORDS | M.W. = MONITORING WELL |
| C = CALCULATED MEASUREMENT | M.E.G = MATCH EXISTING GRADE |
| CL = CENTERLINE | NAVD = NORTH AMERICAN VERTICAL DATUM |
| C.B. = CATCH BASIN | NGVD = NATIONAL GEODETIC VERTICAL DATUM |
| C.B.S. = CONCRETE BLOCK STRUCTURE | O.R.B. = OFFICIAL RECORDS BOOK |
| C.L.F. = CHAIN LINK FENCE | P = PLAT MEASUREMENT |
| C.O. = CLEAN OUT | P.B. = PLAT BOOK |
| CONC. = CONCRETE | P.E. = POOL EQUIPMENT |
| C.L.P = CONCRETE LIGHT POLE | P.O.B. = POINT OF BEGINNING |
| C.P.P. = CONCRETE POWER POLE | P.O.C. = POINT OF COMMENCEMENT |
| C.R. = CABLE RISER | P.P. = POWER POLE |
| D = DELTA | R = RADIUS |
| E.S. = ELECTRIC SERVICE | R/W = RIGHT OF WAY |
| F.P.L. = FLORIDA POWER & LIGHT | TYP. = TYPICAL |
| F.F.E. = FINISHED FLOOR ELEVATION | W.M. = WATER METER |
| G.A. = GUY ANCHOR | W.V. = WATER VALVE |
| G.V. = GATE VALVE | |
| HDPE = HIGH DENSITY POLYETHYLENE PIPE | |

LEGEND:

- | | |
|------------------------------|---------------------------------------|
| Anchor | Manhole Unknown |
| Back Flow Preventer | Metal Light Pole |
| Bell South Utility Box | Metal Pole |
| Bell South Manhole | Metal Power Pole |
| Bench Mark | Metal Traffic Signal Pole |
| Bus Sign | Monitoring Well |
| Catch Basin | Overhead Cable |
| Catch Basin Type F-3 | P.C.P. (Permanent Control Point) |
| Clean Out | P.R.M. (Permanent Reference Monument) |
| Concrete Light Pole | Palm |
| Concrete Pole | Parking Meter Station |
| Concrete Power Pole | Parking Meter |
| Concrete Traffic Signal Pole | Pedestrian Signal Control Box |
| Drain | Pedestrian Sign Metal Pole |
| Electric Box | Phone Manhole |
| Electric Manhole | Plastic Light Pole |
| Electric Meter | Post Indicator Valve |
| Flow Arrow | Rail Road Sign |
| FPL Box | Rail Road Control Utility Box |
| FP&L Manhole | Spot Light |
| Fire Hydrant | Siamese Pump |
| Guard Rail | Sanitary Sewer Manhole |
| Gas Meter | Sewer Valve |
| Gas Valve | Storm Manhole |
| GPS Point | Storm Sewer Manhole |
| Grease Manhole | Street Sign |
| Bollard/Guard Post | T.V. Box |
| Handicap | Telephone Box |
| Inlet Type P5 | Traffic Signal Box |
| Inlet Type P6 | Traffic Signal Control Box |
| Irrigation Control Valve | Tree |
| Irrigation Valve | Utility Box (Unknown) |
| Iron Pipe | Valve (Unknown) |
| Light Meter | Water Meter |
| Mail Box | Water Valve |
| Utility Pipe Removal | Wood Light Pole |
| Property Line | Wood Fence |
| Center Line | Wood Power Pole |
| Site Visibility Triangle | Approximate Limits of Work |
| Building Limit | Cable Television |
| Catch Basin | Communications |
| Clean Out | Overhead Cable |
| Valve | Electric |
| Existing Elevation | Gas |
| Proposed Elevation | Sanitary Sewer |
| Drainage Well | Storm Drainage |
| | Telephone |
| | Water Main |

- | | | | |
|------------------|----------------------------|-------------------|-------------------|
| TO BE DEMOLISHED | TO BE REMOVED | PROPOSED SOD | PROPOSED GRAVEL |
| PROPOSED ASPHALT | PROPOSED PERMEABLE ASPHALT | PROPOSED CONCRETE | EXISTING CONCRETE |

INDEX SHEET:

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PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 2 WORKING DAYS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR MUST CALL THE UTILITY COMPANIES BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS INCLUDING ANY DEWATERING PERMITS AND FDEP NOI, AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND ENGINEER DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING ALL QUANTITIES, TAKE-OFF MEASUREMENTS, MATERIALS, ETC. DURING THE BID PROCESS WHEN DISCREPANCIES OCCUR, THE PHYSICAL PLAN TAKES PRECEDENCE. THE ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, COUNTY, TOWN OR PROJECT MANAGERS ARE NOT TO BE HELD RESPONSIBLE FOR DISCREPANCIES TO THE SPECIFICATIONS OR PLANS.
- THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGES OUTSIDE THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY THIS CONSTRUCTION TO AN EQUAL OR BETTER CONDITION THAN CURRENTLY EXISTS.
- CONTRACTOR IS ADVISED THAT THE U.S. ENVIRONMENTAL PROTECTION AGENCY REQUIRES THAT ALL OPERATORS FILE A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES GENERAL PERMIT PRIOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN THE SAME. A COPY SHALL BE SENT TO THE ENGINEER OF RECORD.
- FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF PROPOSED EXCAVATION." THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 2 WORKING DAYS AND A MAXIMUM OF 5 WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE LOCAL ELECTRICAL PROVIDER ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL PLANS RELATED TO SITE WORK INCLUDING (BUT NOT LIMITED TO) LANDSCAPE, IRRIGATION, SITE LIGHTING, BUILDING FOUNDATION, PLUMBING, FIRE SPRINKLER, AND OTHER APPLICABLE PLANS. FOR CONFLICTING INFORMATION ALERT DESIGN TEAM OF ANY CONFLICT FOR RESOLUTION.
- ANY DEBRIS RESULTING FROM STRIPPING AND DEMOLITION OPERATIONS SHALL BE REMOVED FROM THE SITE AT FREQUENT INTERVALS TO PREVENT THIS MATERIAL FROM ACCUMULATING ON SITE.
- UPON REMOVAL OF TREES, SHRUBS OR ANY STUMP GRINDING, NO ROOT GREATER THAN THREE INCHES IN DIAMETER SHALL REMAIN WITHIN FIVE FEET OF AN UNDERGROUND STRUCTURE OR UTILITY LINE OR UNDER PAVED FOOTINGS OR PAVED AREAS.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH ALL CURRENT FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
- THE SURVEY INCLUDED IN THIS SET IS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL INFORMATION SHOWN ON THE SURVEY.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER, THE DESIGN ENGINEER, AND APPLICABLE REGULATORY AGENCY PRIOR TO CONSTRUCTION. THE MEANS AND METHODS FOR DEWATERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS FOR DEWATERING ARE TO BE INCLUDED IN THE CONTRACTOR'S BID.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH SAFETY ACT.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL COUNTY OR STATE SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS, WHICHEVER IS MOST RESTRICTIVE.
- ALL UNPAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED, UNLESS OTHERWISE NOTED.
- TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED WITH BAHIA SOD UNLESS INDICATED OTHERWISE ON THE ENGINEERING OR LANDSCAPE PLANS. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT

- WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE SLOPES SHALL THEN BE SODDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED, AND MAINTAINED UNTIL A GOOD STAND OF GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL ENSURE THAT PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- ALL PAVEMENT PARKING AND STRIPING SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS.
- ALL EXISTING AND PROPOSED RIM ELEVATIONS SHALL BE SET TO FINISHED SURFACE GRADE UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLAN. THIS SHALL INCLUDE ALL UTILITY, SEWER, WATER AND DRAINAGE STRUCTURES, MANHOLES, INLETS, VAULTS, AND OTHER APPURTENANCES.

INTERRUPTION OF EXISTING UTILITIES

- ANY DEMOLITION WORK THAT REQUIRES INTERRUPTION OF SERVICE TO ANY CUSTOMER SHALL BE DONE SO WITH A MINIMUM OF SEVENTY-TWO (72) HOUR NOTICE TO, AND WRITTEN APPROVAL BY, THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE LOCAL JURISDICTIONAL AGENCIES AND OTHER GOVERNING AGENCIES, AND OTHER AFFECTED UTILITIES PRIOR TO SCHEDULING THE SHUT DOWN TO ASSESS THE SCOPE OF WORK. ALL SYSTEM SHUT DOWNS SHALL BE SCHEDULED BY THE CONTRACTOR AT SUCH TIME THAT SYSTEM DEMAND IS LOW. THIS GENERALLY REQUIRES NIGHT TIME WORK BY THE CONTRACTOR AND REQUIRES FULL TIME INSPECTION BY A REPRESENTATIVE OF THE UTILITY. ALL COST FOR OVERTIME WORK BY THE REPRESENTATIVE OF THE UTILITY SHALL BE BORNE BY THE CONTRACTOR. EACH CUSTOMER AFFECTED BY THE SHUT DOWN SHALL BE PROVIDED, MINIMUM, FORTY-EIGHT (48) HOURS WRITTEN NOTIFICATION BY THE CONTRACTOR.

PRE-CONSTRUCTION RESPONSIBILITIES

- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF WORK.
- EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

WATER AND SEWER UTILITY NOTES

- ALL CONSTRUCTION SHALL MEET OR EXCEED THE LOCAL WATER AND SEWER REQUIREMENTS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE SPECIFICATIONS AND DETAILS FROM THE LOCAL AGENCY.
- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES AND GRAVITY SEWER LINES AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWAY OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. PIPE FITTINGS, ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE AS-BUILT BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- ALL POTABLE WATER PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED OR MARKED IN ACCORDANCE WITH F.A.C. 62-555.320(21)(b)3, USING BLUE AS THE PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE WITH HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL, PIPE STRIPED DURING THE MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING AND AFTER INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPE WITH AN INTERNAL DIAMETER OR 24" OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO

- PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
- THE POTABLE, FIRE LINE, AND FIRE LINE BY-PASS BACKFLOW PREVENTERS ARE TO BE CERTIFIED TO UTILITY SERVICES PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. CALL LISA WILSON-DAVIS AT (561)338-7310.
- ALL PIPES AND CONNECTIONS ARE TO BE RESTRAINED IN ACCORDANCE WITH THE DETAILS ENCLOSED HEREIN.
- ALL WATER MAIN SHALL BE PVC C-900 UNLESS OTHERWISE NOTED.
- ALL GRAVITY LATERALS SHALL BE PVC SDR-26 UNLESS OTHERWISE NOTED.

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
 - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - THE TEMPORARY DRIVEWAY AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR DRIVING), THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY DRIVING AREA AS CONDITIONS DEMAND.
 - ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION. PRECONSTRUCTION RESPONSIBILITIES

DEMOLITION NOTES

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE REMOVED OR RELOCATED SHALL BE PRESERVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION. CONTRACTOR TO SEE LANDSCAPE PLAN FOR TREE PROTECTION REQUIREMENTS. ALL TREES TO REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR TO NOTE EXISTING TREES TO REMAIN. SHOULD ANY TREE TO REMAIN BE DAMAGED BY THE CONTRACTOR, IT WILL REQUIRE REPLACEMENT IN KIND IN ACCORDANCE WITH LOCAL JURISDICTION'S REQUIREMENTS.
- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- ALL VALVE BOXES, MANHOLES, CATCH BASINS, AND OTHER ITEMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
- THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY LOCATIONS.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE OWNER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
- CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES AND CONSTRUCTION OF NEW FACILITIES.

MINIMUM REQUIRED AS-BUILT INFORMATION

- ALL AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR, AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
- UTILITY CROSSING SEPARATION INFORMATION FOR THAT PROVIDED ON THE PLANS VERIFYING:
 - SIZE AND MATERIAL OF CROSSING PIPES
 - TOP ELEVATION OF BOTTOM PIPE
 - BOTTOM ELEVATION OF TOP PIPE
 - FINISH SURFACE ELEVATION OVER UTILITY CROSSING

- STORM DRAINAGE:
 - INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES.
 - INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS.
 - CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORM WATER MANAGEMENT AREAS IMMEDIATELY AFTER FINAL GRADING AND PRIOR TO SEEDING OR SODDING OF THE SLOPES. AT A MINIMUM, THE CONTRACTOR SHALL PROVIDE CROSS SECTIONS ON ALL SIDES OF THE WATER MANAGEMENT AREAS AT 25-FOOT INTERVALS. THE CROSS SECTIONS SHALL BE PROVIDED FROM TOP OF BANK TO THE SLOPE BREAK BELOW CONTROL ELEVATION THE ENGINEER'S APPROVAL IS REQUIRED PRIOR TO GRASSING OF THE BANK. IF ANY MODIFICATIONS ARE SPECIFIED, ADDITIONAL AS-BUILTS MAY BE REQUIRED.

- PRESSURE SYSTEMS (WATER, RECLAIMED, AND FORCE MAINS):
 - ACTUAL LENGTHS BETWEEN BRANCHES AND VALVES ALONG THE MAIN RUN.
 - TOP OF PIPE AND FINISHED GRADE ELEVATIONS AT 100' INTERVALS.
 - LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES.)
 - ALL AS-BUILT INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
 - UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD COMPLETE SETS OF AS-BUILT CONSTRUCTION DRAWINGS AS REQUIRED FOR SUBMITTAL AND APPROVAL. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES, AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS, AND SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
 - ALL OTHER REQUIRED PRESSURE PIPE INFORMATION IN ACCORDANCE WITH THE AS-BUILT REQUIREMENTS OF THE CITY. 5. REVISIONS TO ROUTING OF PIPING AND CONDUITS. 6. LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES.
- REVISIONS TO ELECTRICAL CIRCUITRY.
- ACTUAL EQUIPMENT LOCATIONS.
- CHANGES MADE BY CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE.
- CHANGES MADE FOLLOWING ENGINEER'S WRITTEN ORDERS.
- DETAILS NOT ON THE ORIGINAL CONTRACT DRAWINGS.
- FIELD RECORDS FOR VARIABLE AND CONCEALED CONDITIONS.
- ALL SLEEVES, FITTINGS, TEES, BENDS, VALVES, ETC. SHALL BE LOCATED BY STATION/OFFSET (OR METHOD APPROVED BY ENGINEER) AND ELEVATION OF TOP OF PIPE FOR ALL CONSTRUCTED SLEEVING. AS-BUILTS FOR ALL SLEEVING DEPICTING TOP OF PIPE AT 100-FOOT INTERVALS MUST BE PROVIDED.
- RECORD DRAWINGS SHALL INDICATE AS-BUILT DATA FOR EVERY ELEVATION SHOWN ON THE PLANS.
- IF A NEW BENCHMARK LOCATION IS ESTABLISHED, CONTRACTOR SHALL PROVIDE A BENCH LOOP CLOSURE TO THE CLOSEST EXISTING BENCHMARKS IN BOTH DIRECTIONS. ALL BENCHMARK DATA SHALL BE SUBMITTED BY A REGISTERED LAND SURVEYOR.
- IDENTIFICATION OF ADDENDUM ITEMS ISSUED DURING BIDDING PERIOD.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL AS-BUILT DATA FOR UTILITIES AND SLEEVING IS COLLECTED PRIOR TO PAVEMENT SECTION CONSTRUCTION. PRELIMINARY UTILITY AS-BUILTS MUST BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO PAVEMENT SECTION CONSTRUCTION.

CONSTRUCTION SAFETY

- ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.

SURVEY DATA

- EXISTING SITE INFORMATION SHOWN ON THE PLANS AND SURVEY HAS BEEN PROVIDED BY LONGITUDE SURVEYORS, INC. DATED 04-30-2025.
- ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88)
- THE CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO SURVEY MARKERS DURING CONSTRUCTION. ANY SURVEY MARKERS DAMAGED DURING CONSTRUCTION WILL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- BENCHMARK LOCATION AND ELEVATION ARE AS REPRESENTED BY SURVEYOR AT THE TIME OF SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.
- FOR REFERENCE MONUMENTS, SEE SURVEY DRAWINGS FOR DETAILS.

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



DATE: 06/27/2025	DESIGNED BY: SCALE: D.M.	CHECKED BY: M.V.	FIELD BOOK:
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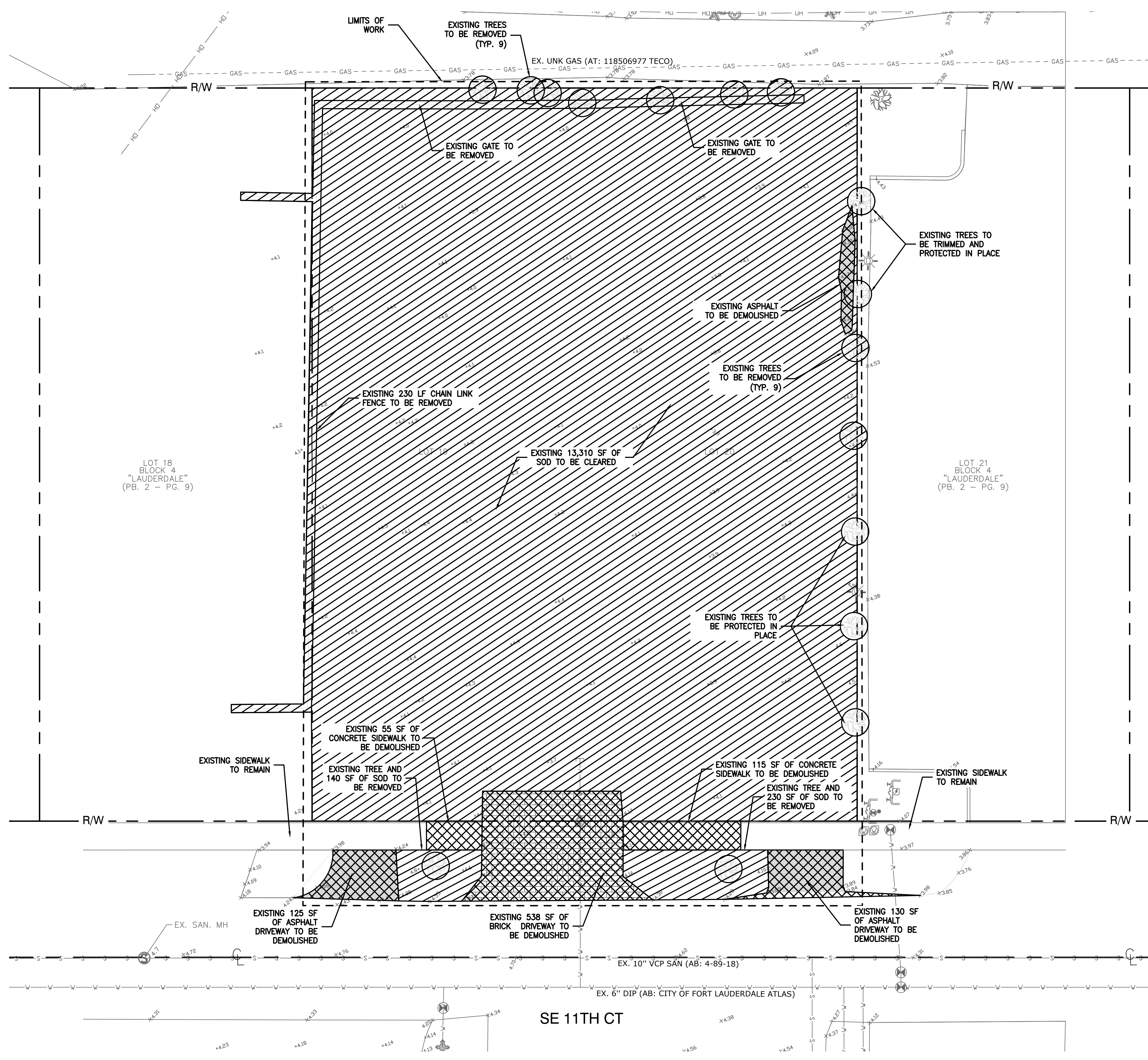
CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHK'D	DESCRIPTION	M.V.	D.M.	30% SUBMITTAL	
							DATE	BY
1	18-15-2025							

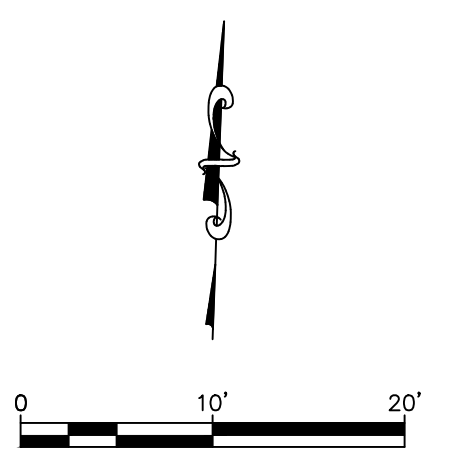
PROJECT # P-12328
EMERGENCY MEDICAL SUB-STATION #88
GENERAL NOTES

SHEET No. 3	OF 12
C-03	
TOTAL: 12	
CAD FILE: 12328-003-GNNTS.dwg	
DRAWING FILE NO.	

NO.	DATE	BY	REVISIONS	
			CHK'D	DESCRIPTION
1	8.15.2025	M.V.	D.M.	30% SUBMITTAL



DEMOLITION PLAN
SCALE: 1"=10'



SCOPE OF WORK:

1. DEMOLISH/DISPOSE OF APPROX. 230 LF OF CHAIN LINK FENCE.
2. DEMOLISH/DISPOSE OF APPROX. 13,680 SF OF SOD AND VEGETATION.
3. DEMOLISH/DISPOSE OF APPROX. 305 SF OF ASPHALT.
4. DEMOLISH/DISPOSE OF APPROX. 170 SF OF CONCRETE.
4. DEMOLISH/DISPOSE OF APPROX. 538 SF OF BRICK DRIVEWAY.

DEMOLITION NOTES:

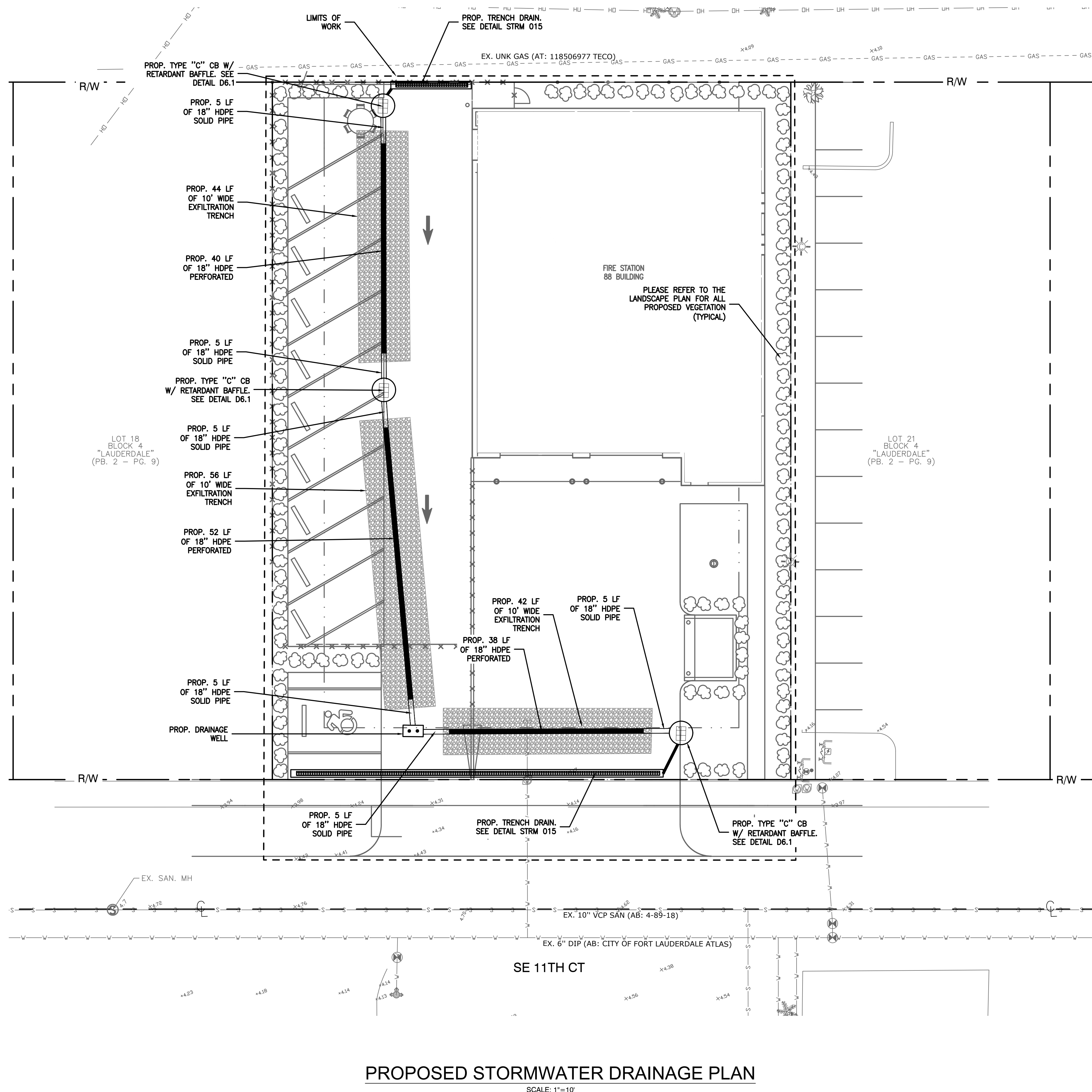
1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF EXISTING UNDERGROUND AND OVERHEAD FRANCHISE UTILITIES FACILITIES (INCLUDING COORDINATION WITH FRANCHISE UTILITY COMPANIES) AND SHALL BE RESPONSIBLE FOR INSTALLATION OF NEW FRANCHISE UTILITIES (INCLUDING COORDINATION WITH FRANCHISE UTILITY COMPANIES) REQUIRED TO CONSTRUCT AND SERVICE THE PROJECT.
2. SEE PAVING, GRADING AND DRAINAGE PLANS FOR ROADWAY IMPROVEMENTS AND UTILITY CUTS ALONG SIDE STREETS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROVED MAINTENANCE OF TEMPORARY MEASURES AS NECESSARY TO ACCOMMODATE PEDESTRIANS. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF FORT LAUDERDALE STANDARDS.
4. ALL CURB, CONCRETE, AND ASPHALT WITHIN LIMITS OF WORK TO BE REMOVED UNLESS SPECIFICALLY CALLED OUT TO REMAIN.
5. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
6. ANY ITEMS THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL REMOVE AND STOCKPILE ALL SIGNAGE AND OTHER ITEMS SALVAGEABLE FOR THE OWNER.
8. CONTRACTOR SHALL REFER TO LANDSCAPE PLANS FOR TREE REMOVAL, RELOCATION, AND PROTECTION INFORMATION.
9. ALL VALVE BOXES, MANHOLES, CATCH BASINS, CLEAN OUTS, AND OTHER STRUCTURES TO REMAIN SHALL BE ADJUSTED TO THE PROPOSED GRADE.
10. ALL DEMOLITION SHALL BE WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
12. CONTRACTOR TO INSTALL SAFETY FENCE AND PROPERLY SIGN/MARK AROUND WORK AND STAGING AREA TO PREVENT PEDESTRIAN TRAFFIC FROM ENTERING.
13. CONTRACTOR SHALL PROVIDE ADEQUATE MAINTENANCE OF TRAFFIC AROUND WORK AND STAGING AREA.
14. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS, IF APPLICABLE.
15. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FORM CONSTRUCTION ACTIVITIES.
16. CONTRACTOR SHALL COMPLY WITH ALL CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT DEMOLITION NOTES AND SPECIFICATIONS WHILE CONDUCTING DEMOLITION ACTIVITIES.

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

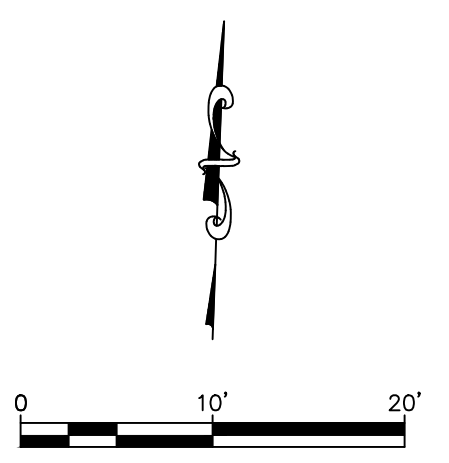
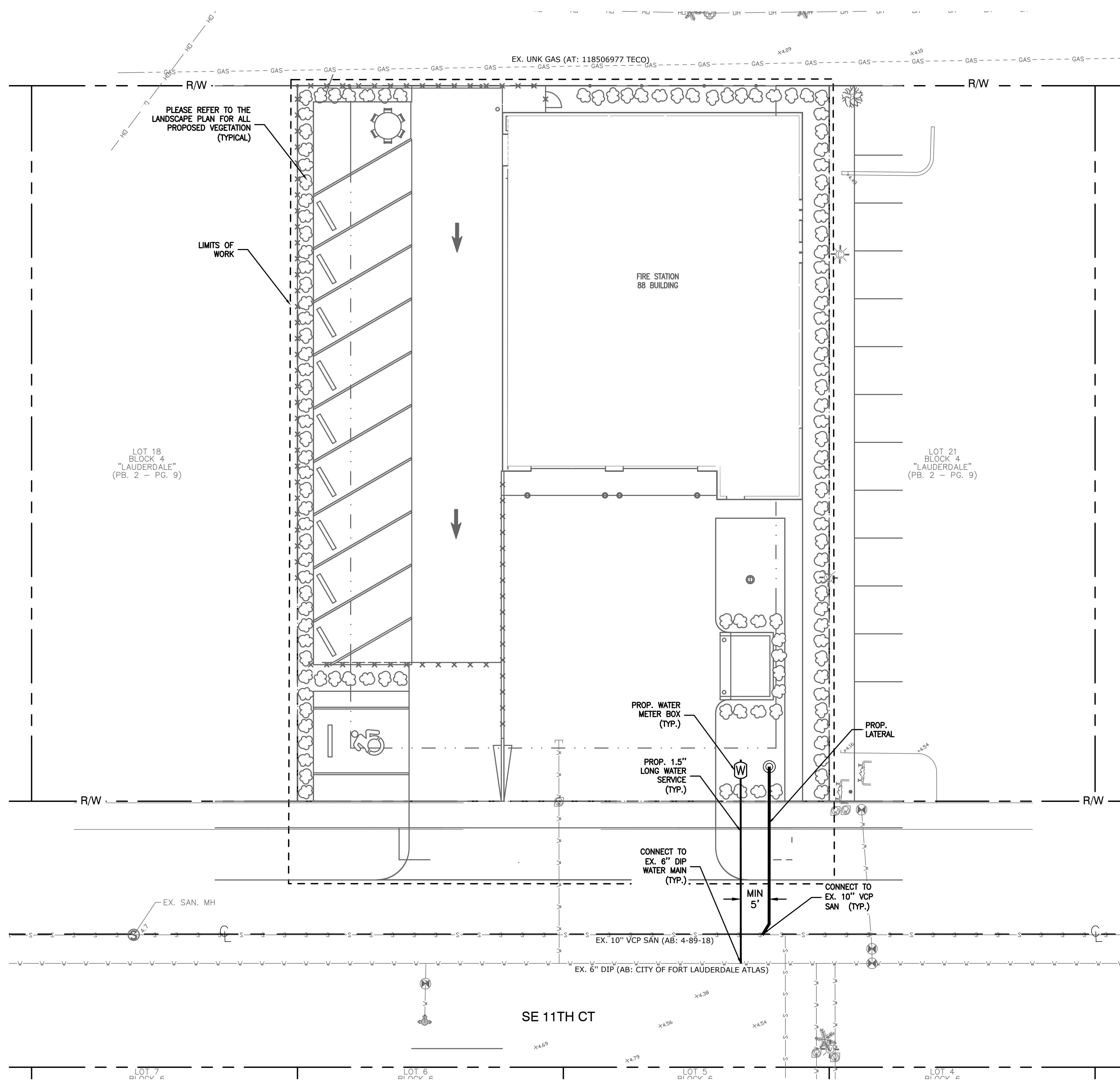
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

NO.	DATE	BY	CHK'D	DESCRIPTION
1	8.15.2025	M.V.	D.M.	30% SUBMITTAL



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1	8.15.2025	M.V.	D.M.	30% SUBMITTAL

PROJECT # P-12328
 EMERGENCY MEDICAL SUB-STATION #88
 PROPOSED WATER AND SEWER PLAN



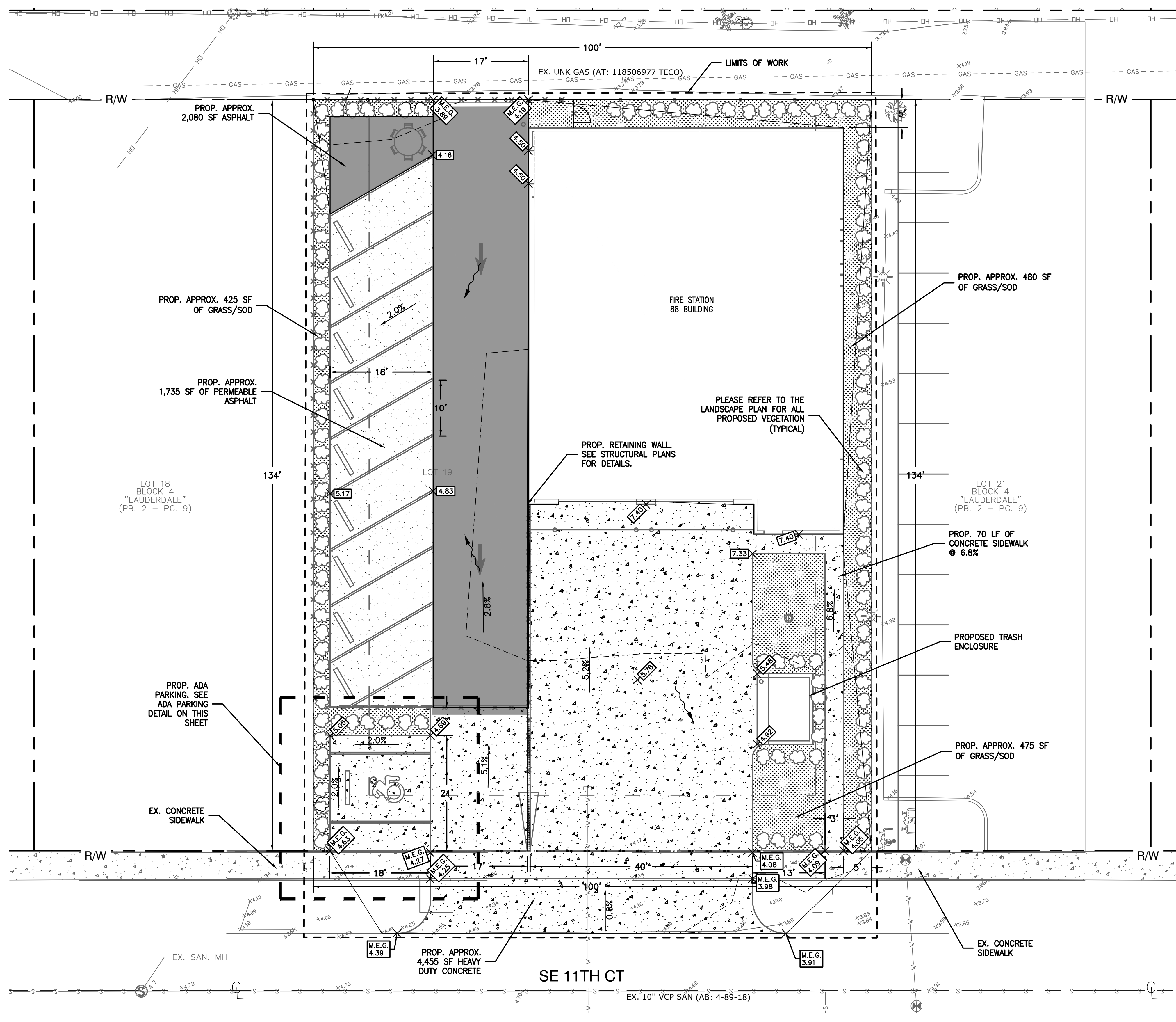
WATER AND SEWER NOTES:

1. THE UTILITY PROVIDING WATER SERVICE TO THIS PROJECT IS THE CITY OF FORT LAUDERDALE, FLORIDA.
2. ALL TRENCHING, PIPE-LAYING, BACKFILL, PRESSURE TESTING AND DISINFECTING MUST COMPLY WITH THE CITY OF FORT LAUDERDALE SPECIFICATIONS.
3. ALL CONNECTIONS TO EXISTING MAINS SHALL BE UNDER THE DIRECTION OF THE CITY OF FORT LAUDERDALE COMMUNITY DEVELOPMENT DEPARTMENT - ENGINEERING INSPECTOR.
4. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).

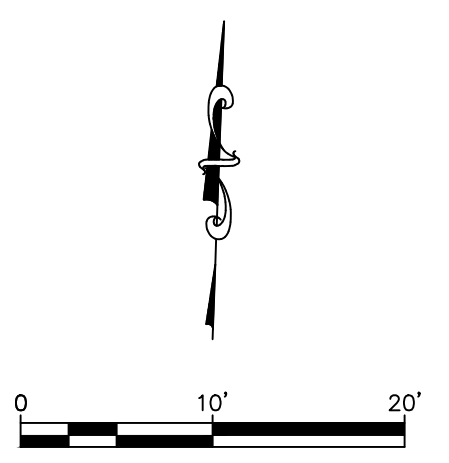
PROPOSED WATER AND SEWER PLAN
 SCALE: 1"=10'

DRC SUBMITTAL - PRELIMINARY
 NOT FOR CONSTRUCTION OR BIDDING
PRELIMINARY PLAN
NOT FOR CONSTRUCTION
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1	18.15.2025	M.V.	D.M.	30% SUBMITTAL



PROPOSED GRADING AND PAVING PLAN
SCALE: 1"=10'

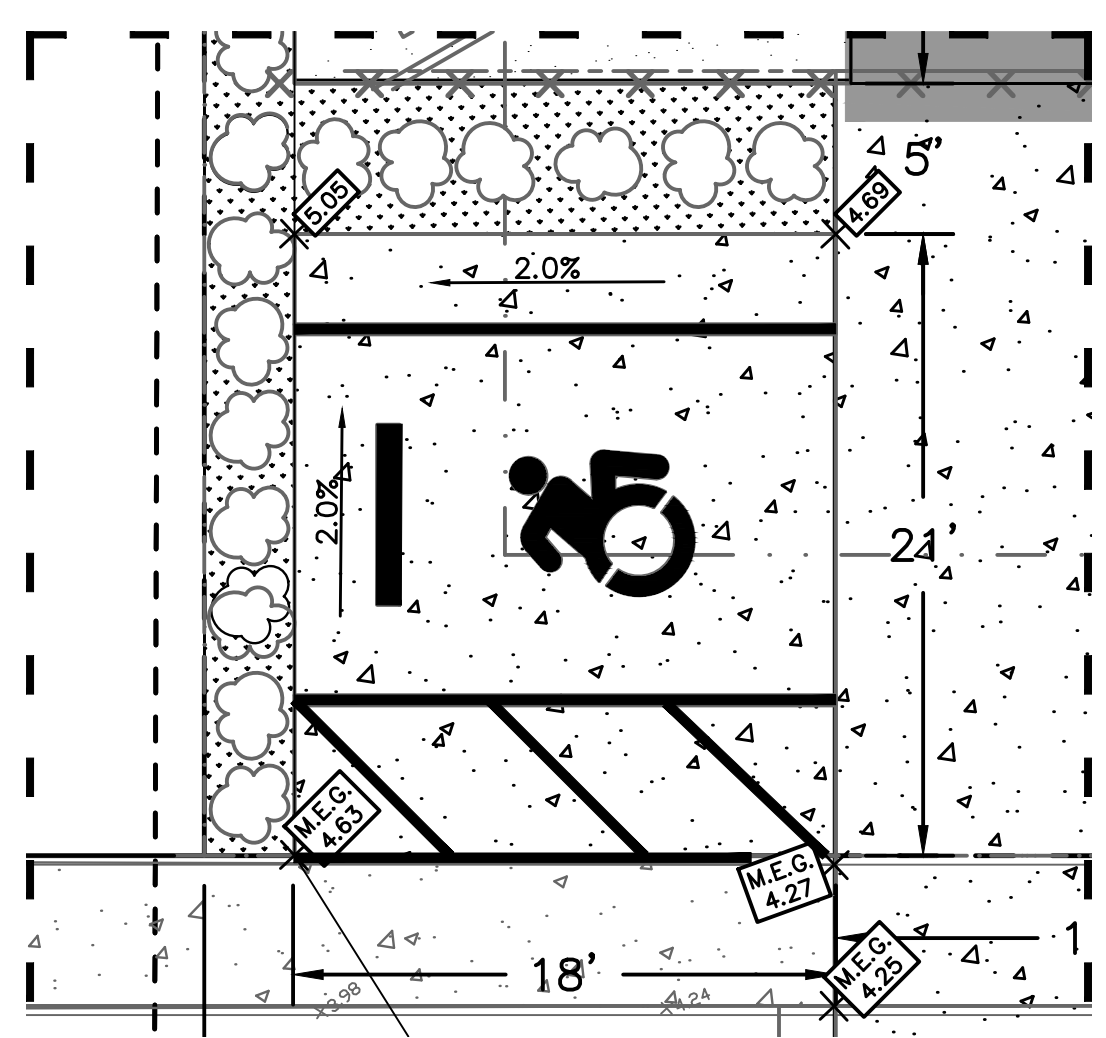


PROPOSED GRADING AND PAVEMENT SCOPE OF WORK:

1. INSTALL APPROX. 2,080 SF OF ASPHALT AS SHOWN ON PLANS.
2. INSTALL APPROX. 1,735 SF OF PERMEABLE ASPHALT AS SHOWN ON PLANS.
3. INSTALL APPROX. 4,445 SF OF CONCRETE AS SHOWN ON PLANS.
4. INSTALL APPROX. 1,380 SF OF GRASS/SOD AS SHOWN ON PLANS.

GRADING AND PAVING NOTES:

1. ALL EXISTING INFORMATION SHOWN IS BASED ON SURVEY DATA PROVIDED BY LONGITUDE SURVEYORS DATED 04/30/2025, UNLESS OTHERWISE NOTED.
2. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
3. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH FDOT SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
5. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE NOTED.
6. ELEVATION SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
7. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
8. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE PLANS FOR PLANTING AREAS AND RELATED REQUIREMENTS.



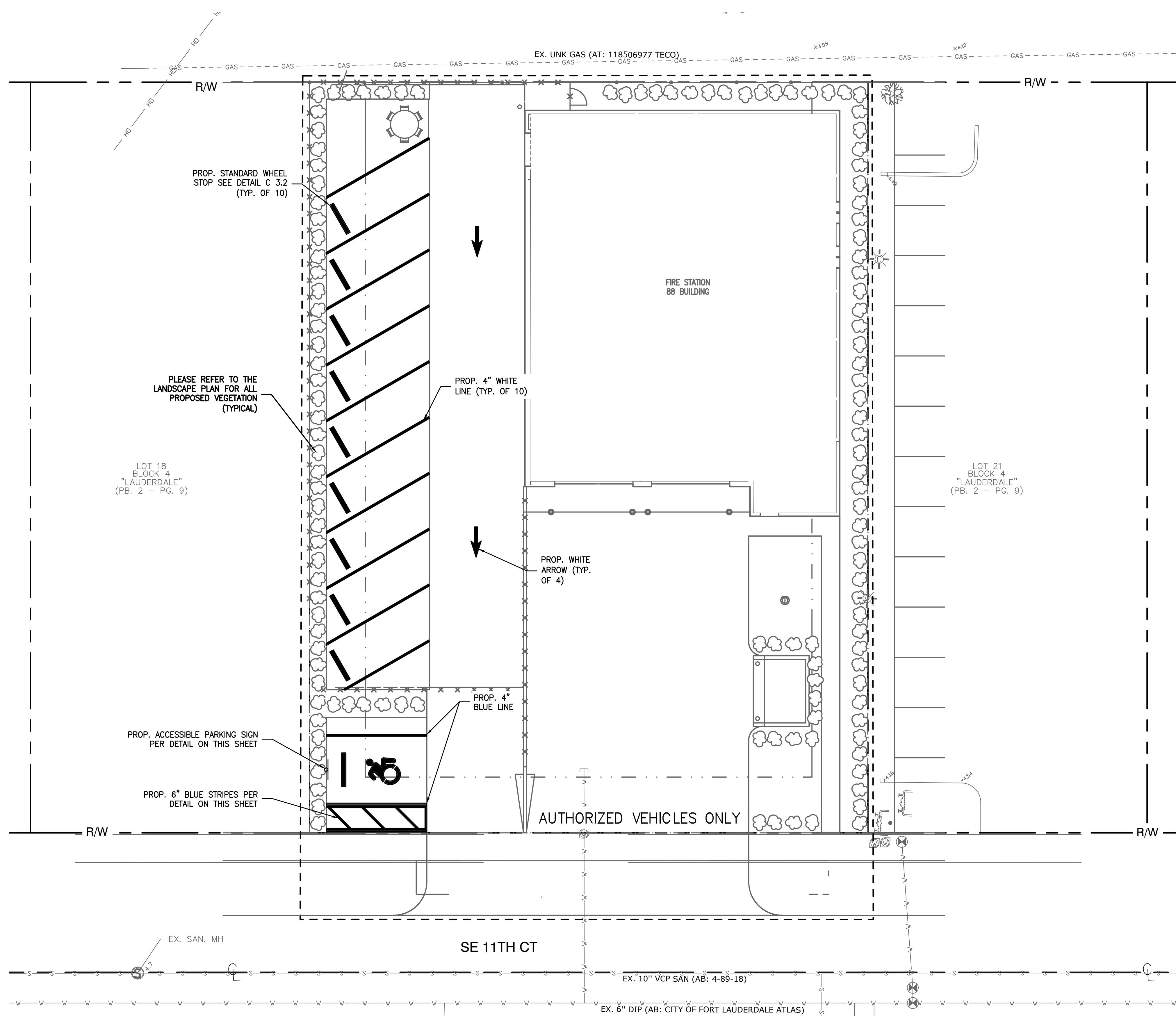
ADA PARKING DETAIL
SCALE: N.T.S

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NOT FOR CONSTRUCTION OR BIDDING

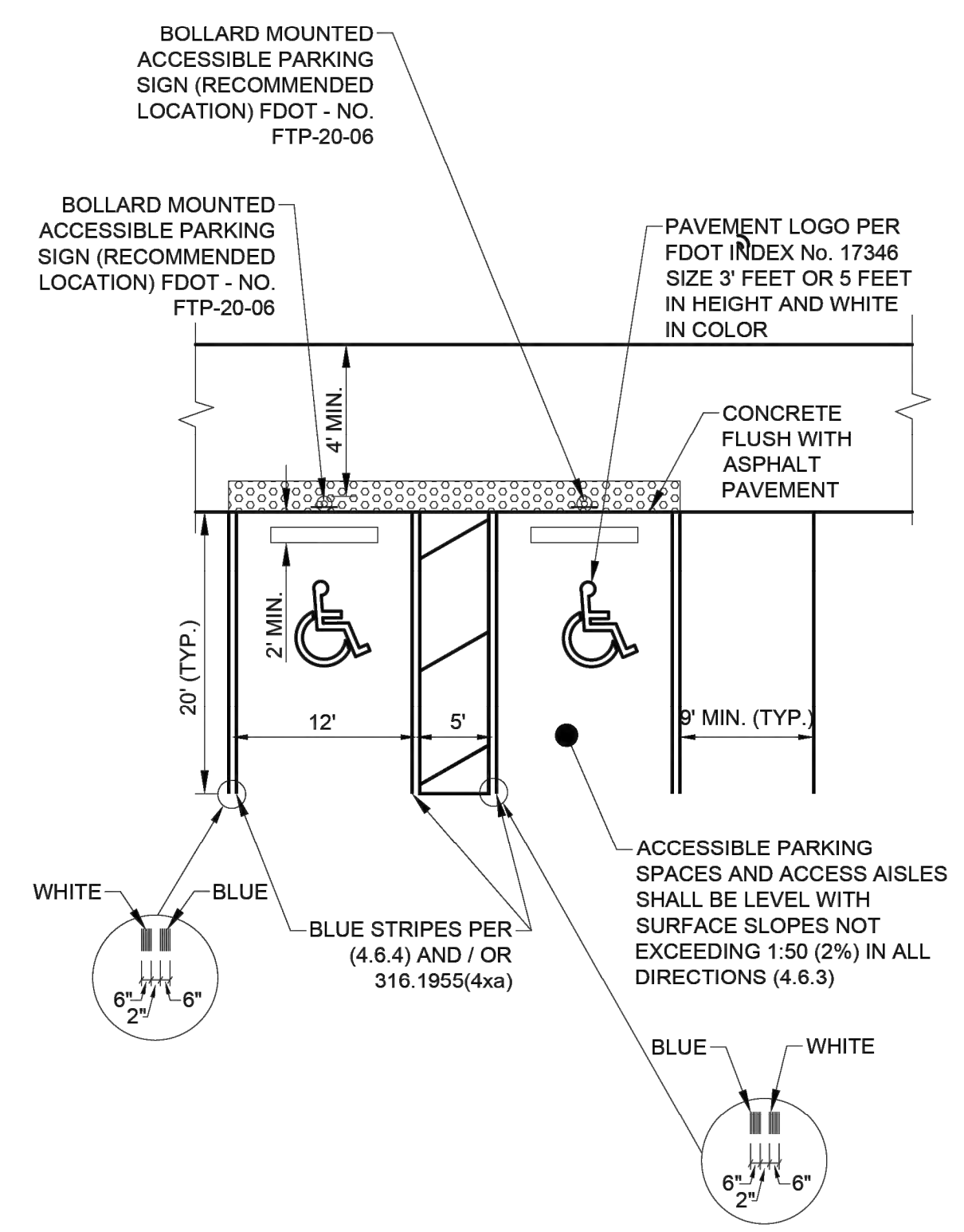
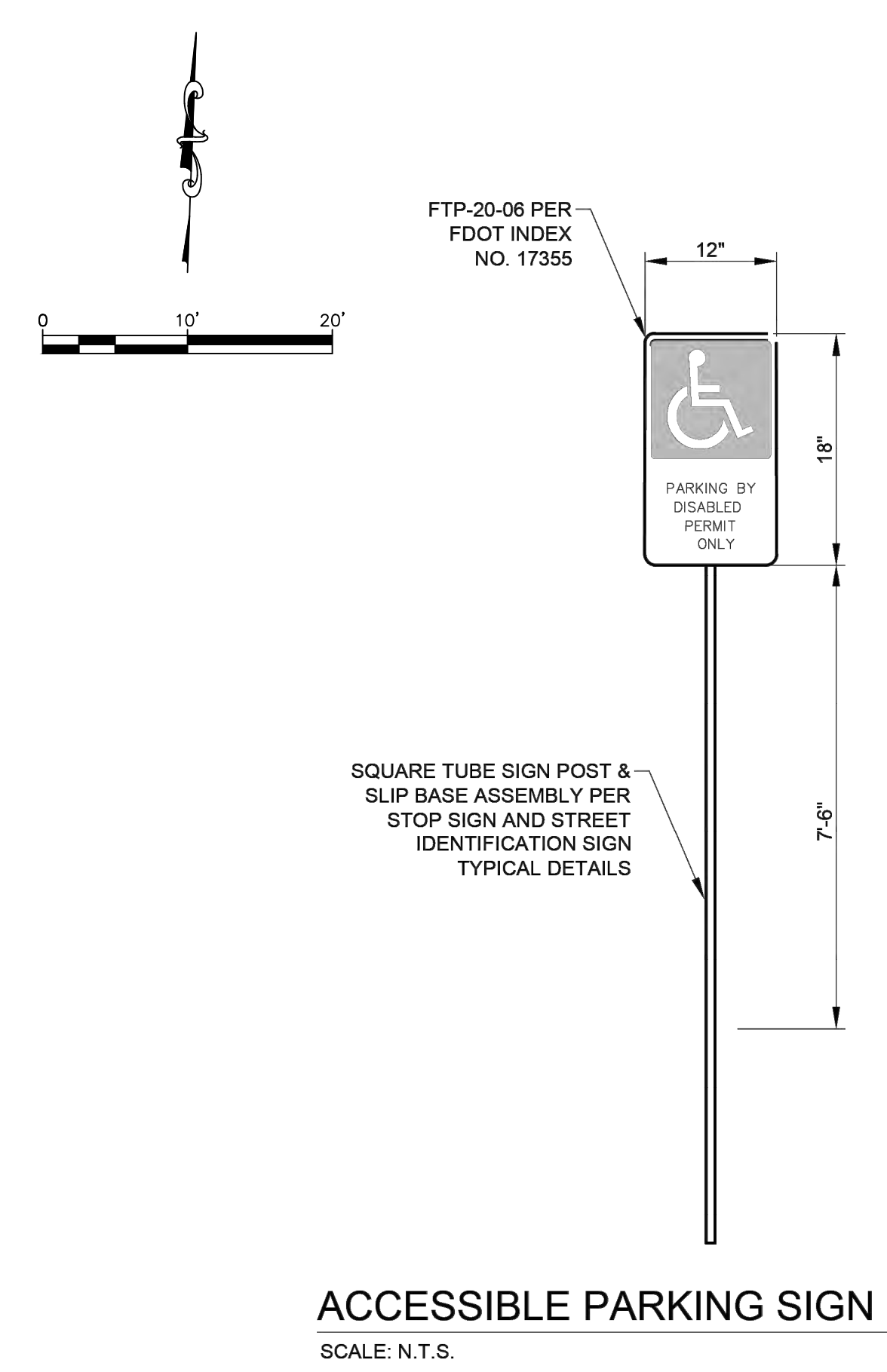
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RESPONSIBILITY FOR THE USE OF THESE
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USER.

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

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1	18.15.2025	M.V.	D.M.	30% SUBMITTAL



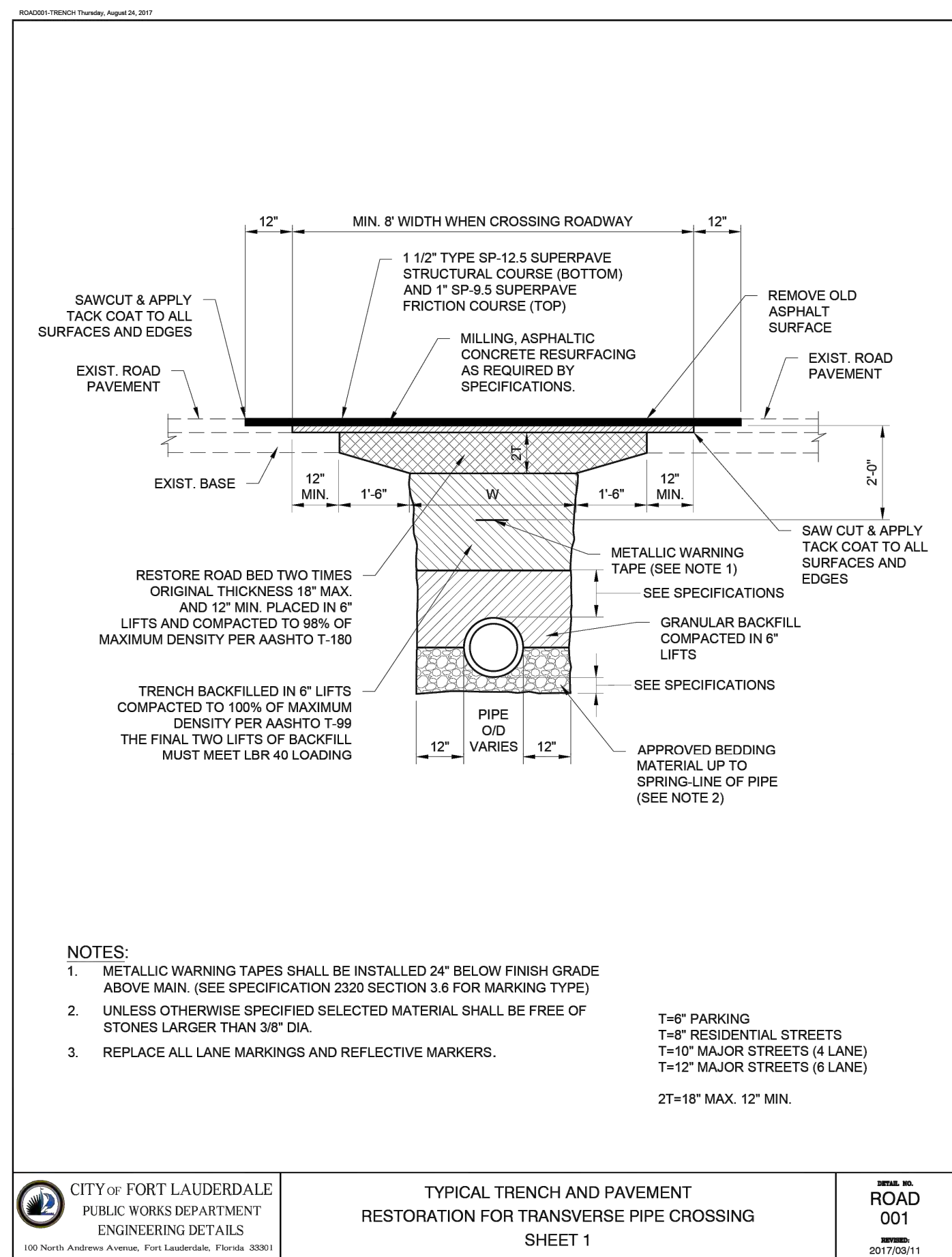
PROPOSED SIGNAGE PLAN
SCALE: 1"=10'



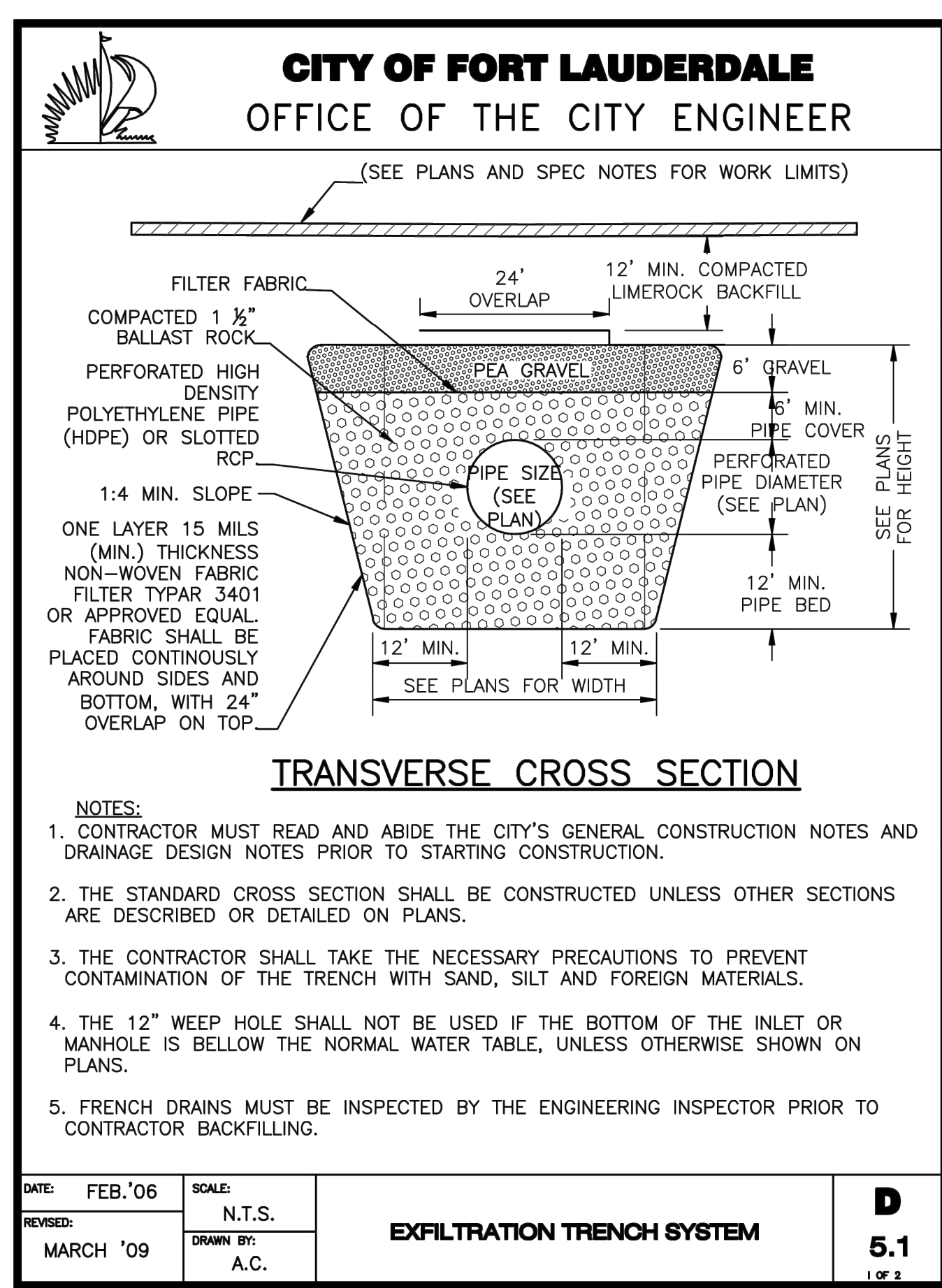
DRC SUBMITTAL - PRELIMINARY
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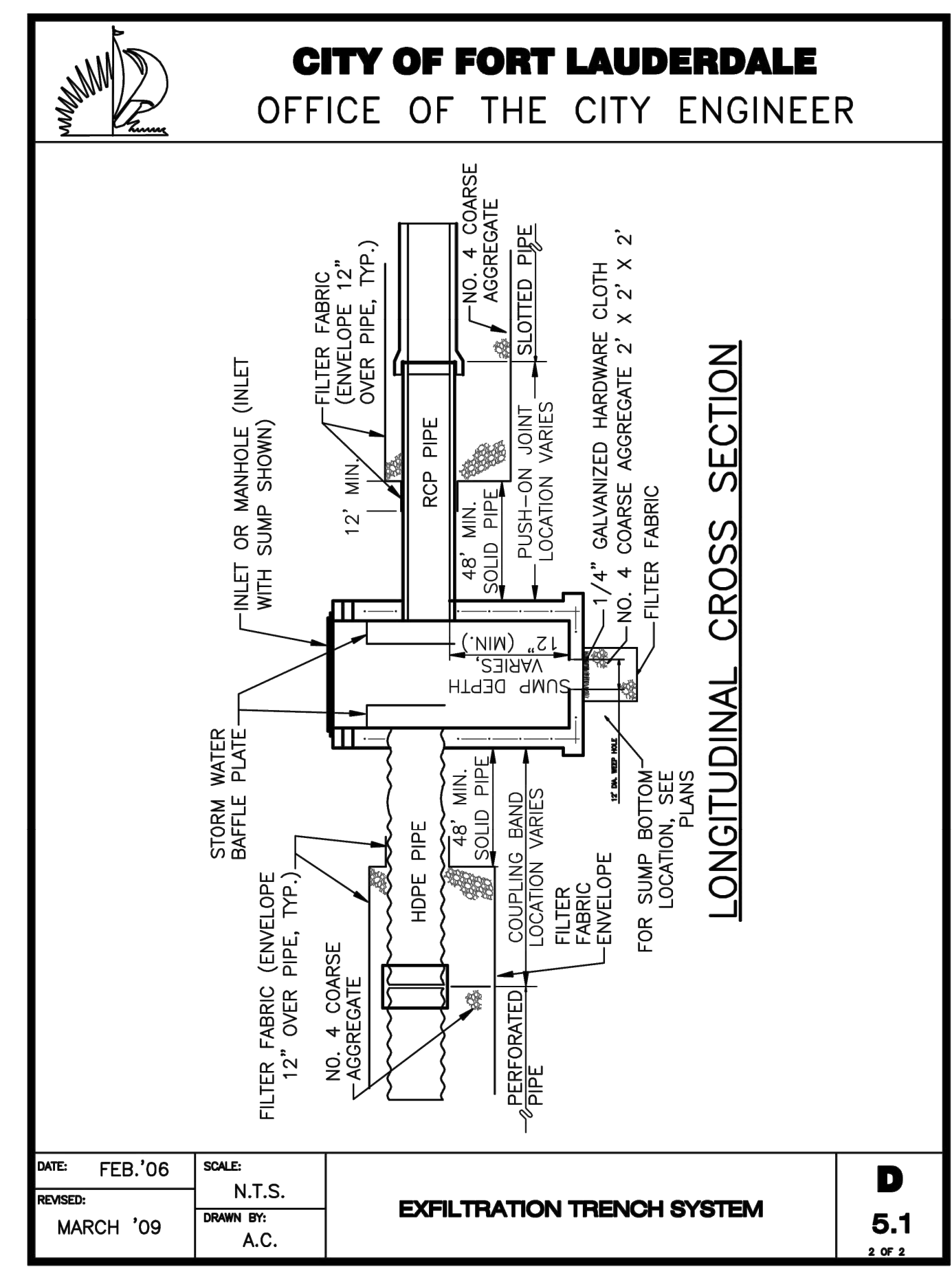
PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



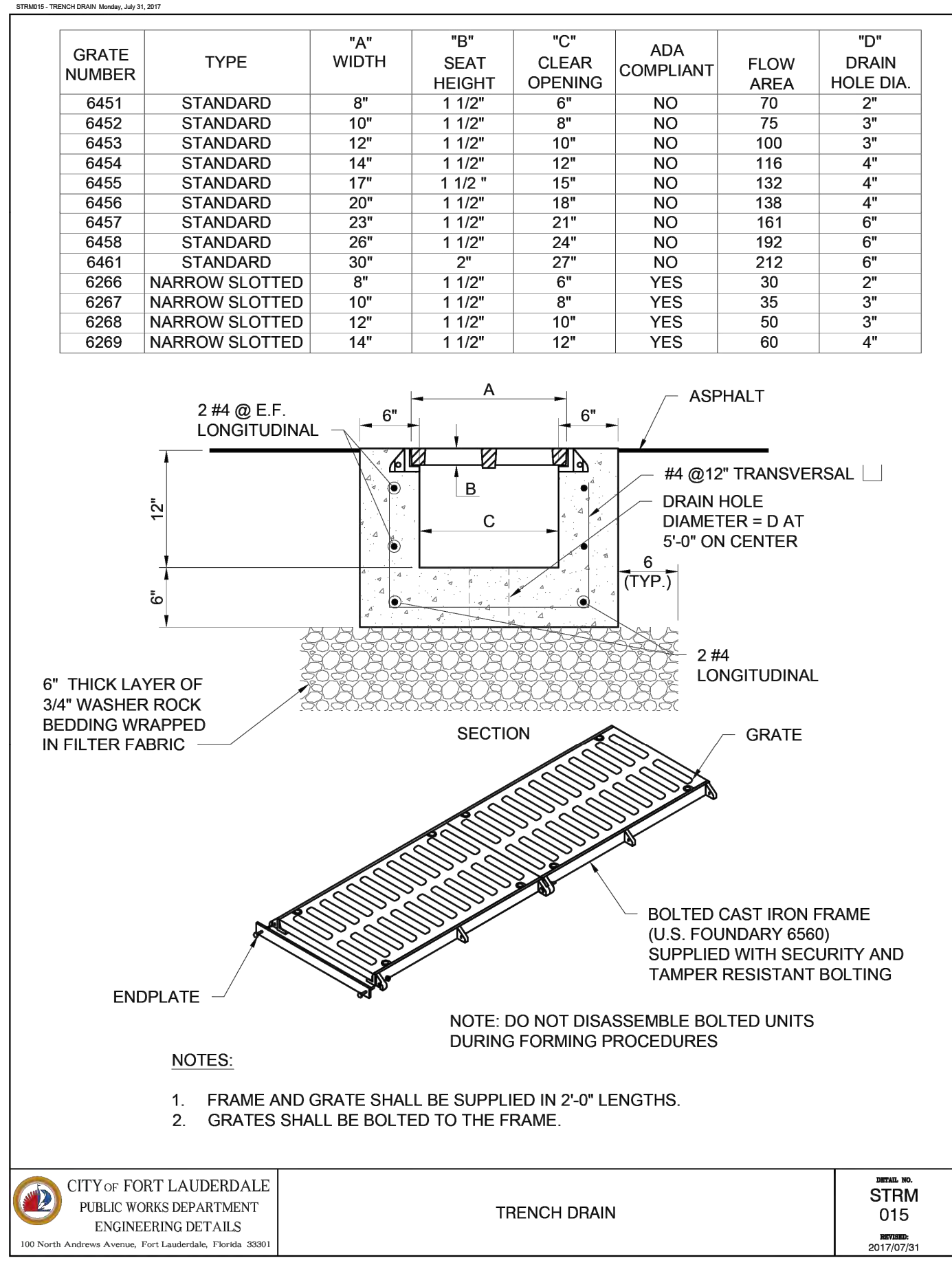
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS <small>100 North Andrews Avenue, Fort Lauderdale, Florida 33301</small>	TYPICAL TRENCH AND PAVEMENT RESTORATION FOR TRANSVERSE PIPE CROSSING SHEET 1	SHEET NO. ROAD 001
		DATE: FEB '06



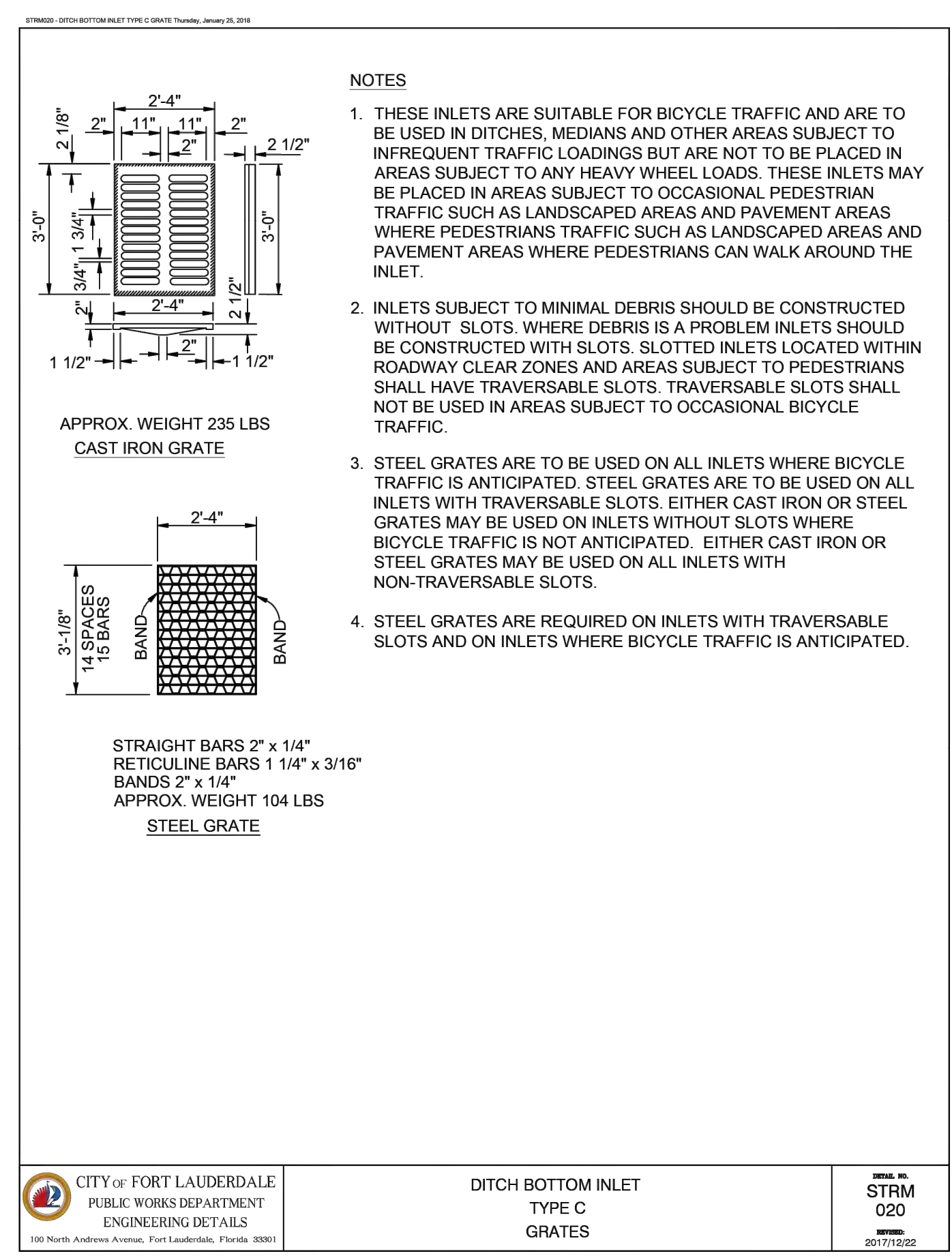
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS <small>100 North Andrews Avenue, Fort Lauderdale, Florida 33301</small>	EXPILTRATION TRENCH SYSTEM 5.1 <small>1 OF 2</small>	DATE: FEB '06
		SCALE: N.T.S.



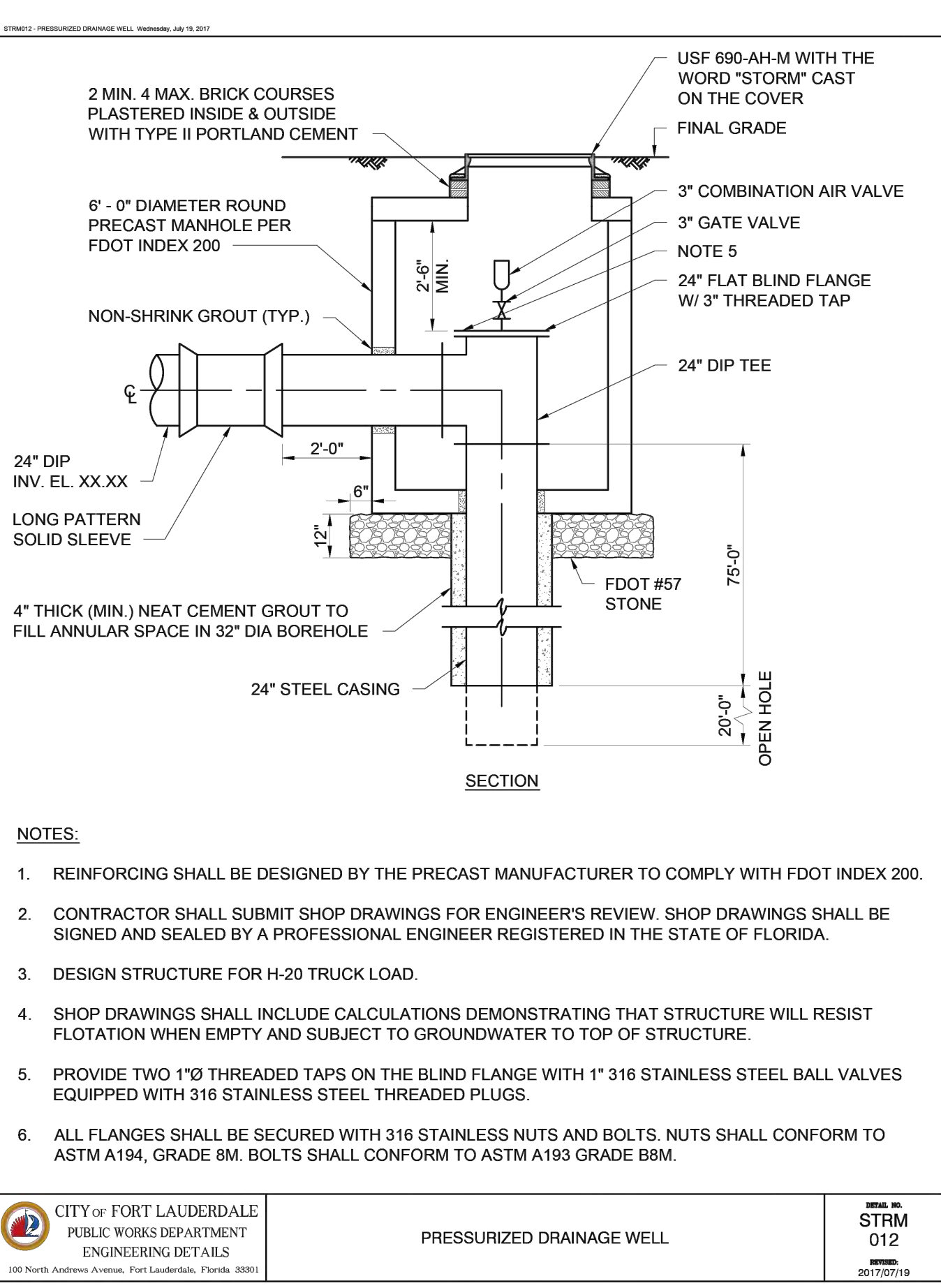
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS <small>100 North Andrews Avenue, Fort Lauderdale, Florida 33301</small>	EXPILTRATION TRENCH SYSTEM 5.1 <small>2 OF 2</small>	DATE: FEB '06
		SCALE: N.T.S.



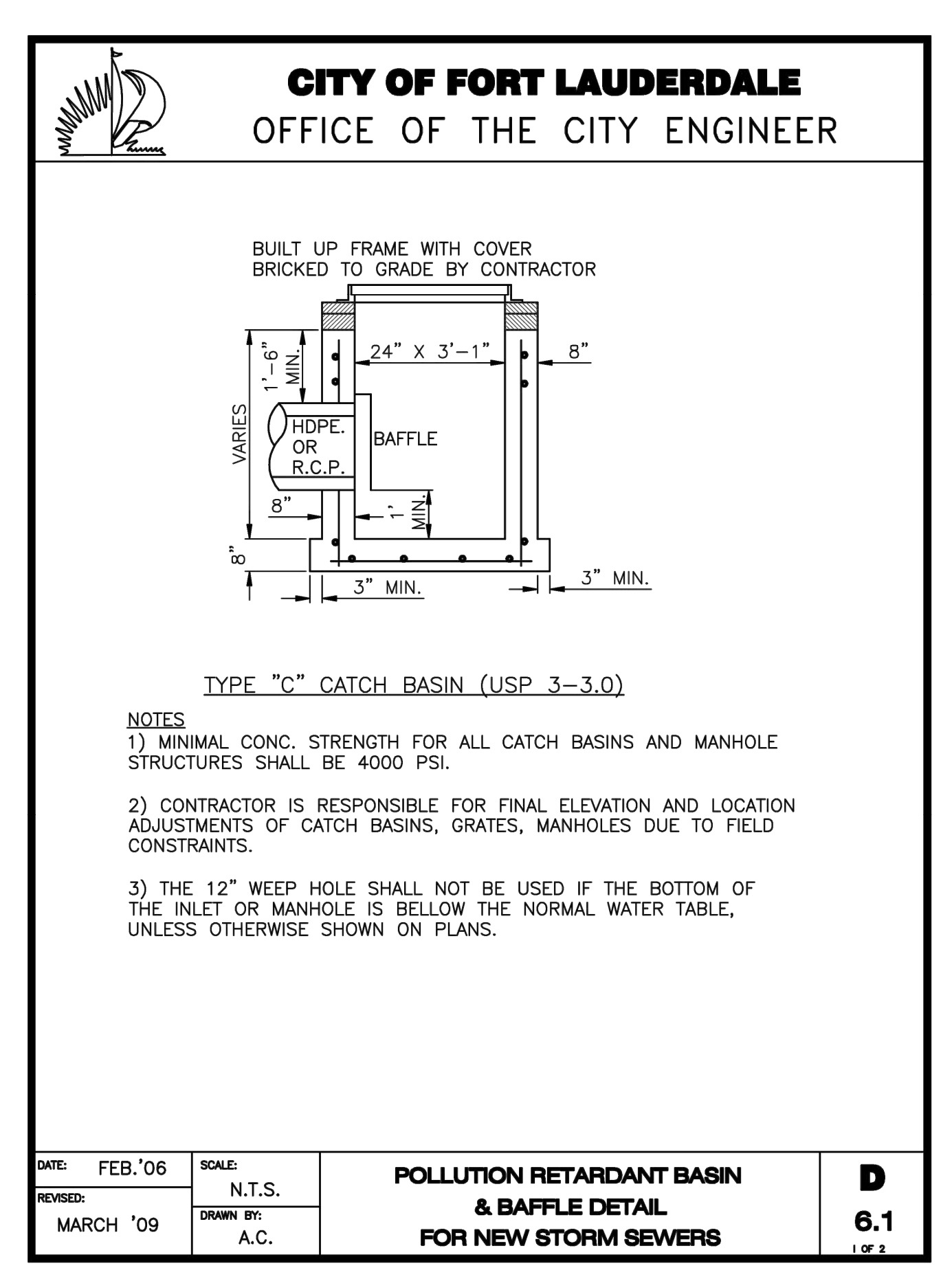
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS <small>100 North Andrews Avenue, Fort Lauderdale, Florida 33301</small>	TRENCH DRAIN STRM 015 <small>20170701</small>	DATE: FEB '06
		SCALE: N.T.S.



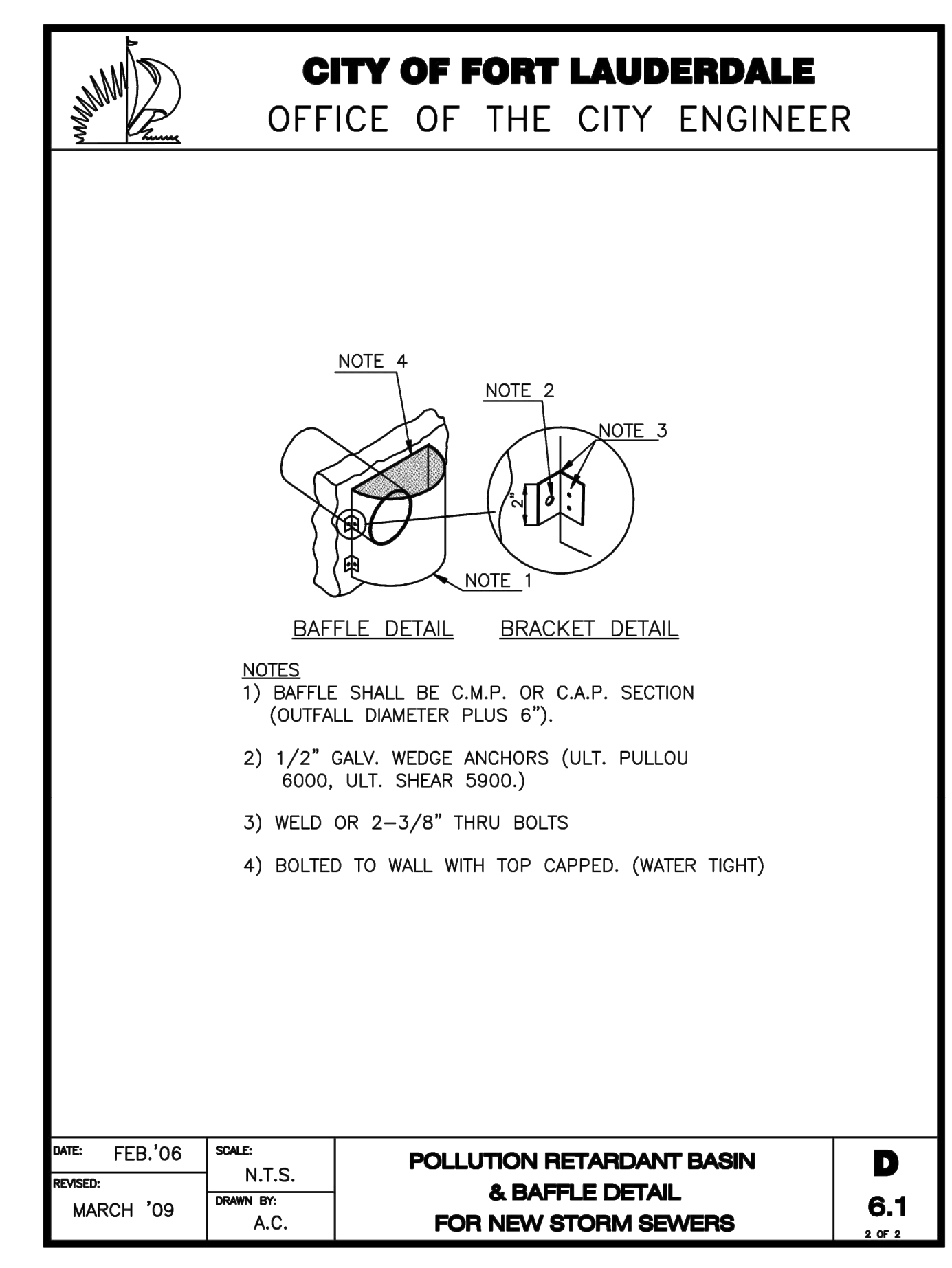
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS <small>100 North Andrews Avenue, Fort Lauderdale, Florida 33301</small>	DITCH BOTTOM INLET TYPE C GRATES	SHEET NO. STRM 020
		DATE: FEB '06



CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS <small>100 North Andrews Avenue, Fort Lauderdale, Florida 33301</small>	PRESSURIZED DRAINAGE WELL STRM 012 <small>20170719</small>	DATE: FEB '06
		SCALE: N.T.S.



CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS <small>100 North Andrews Avenue, Fort Lauderdale, Florida 33301</small>	POLLUTION RETARDANT BASIN & BAFFLE DETAIL FOR NEW STORM SEWERS 6.1 <small>1 OF 2</small>	DATE: FEB '06
		SCALE: N.T.S.



CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS <small>100 North Andrews Avenue, Fort Lauderdale, Florida 33301</small>	POLLUTION RETARDANT BASIN & BAFFLE DETAIL FOR NEW STORM SEWERS 6.1 <small>2 OF 2</small>	DATE: FEB '06
		SCALE: N.T.S.

**PRELIMINARY PLAN
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DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

DATE: 06/21/2025
DRAWN BY: J.C. R.L.
DESIGNED BY: SCALE: D.M.
CHECKED BY: M.V.
FIELD BOOK:

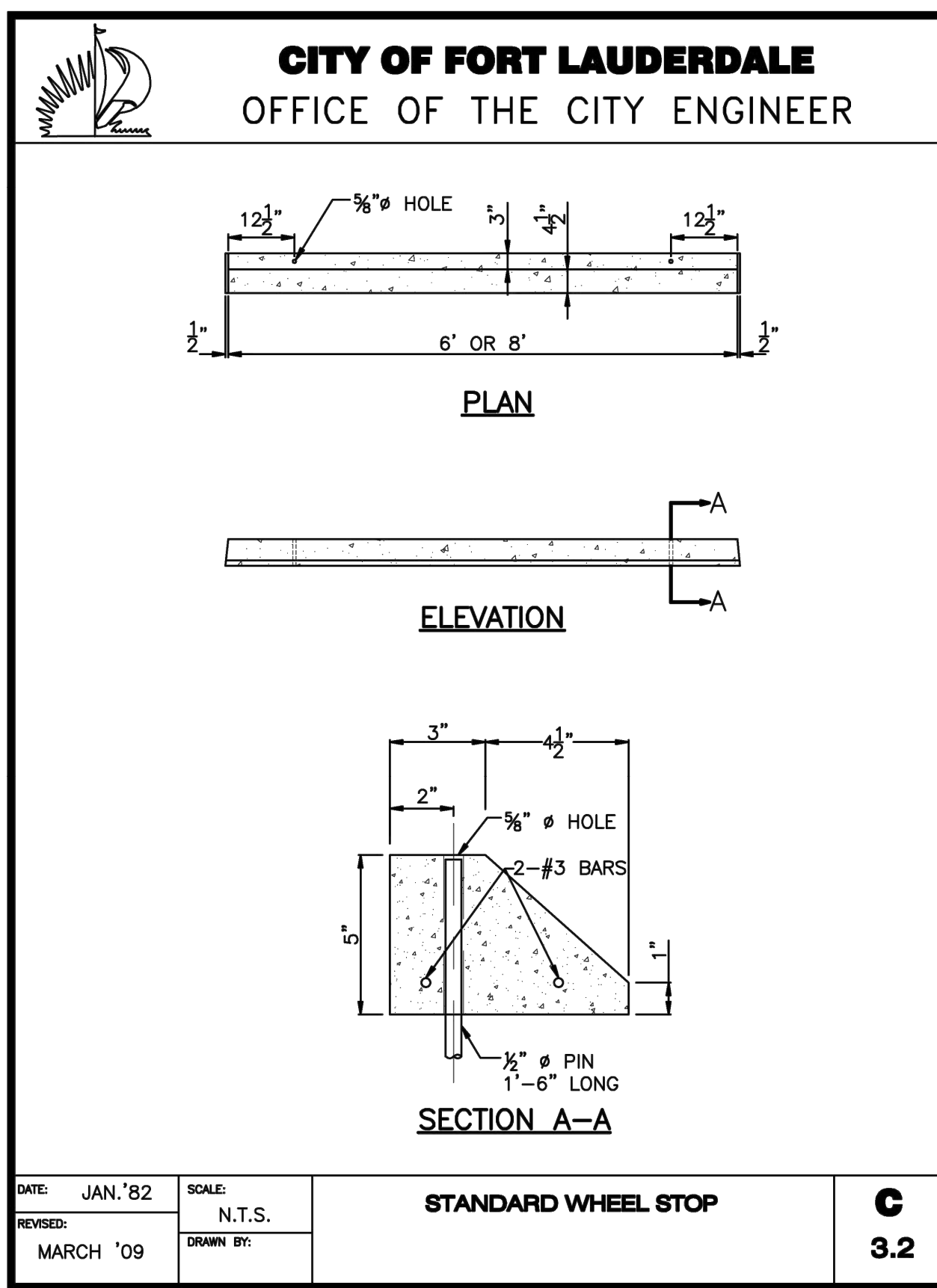
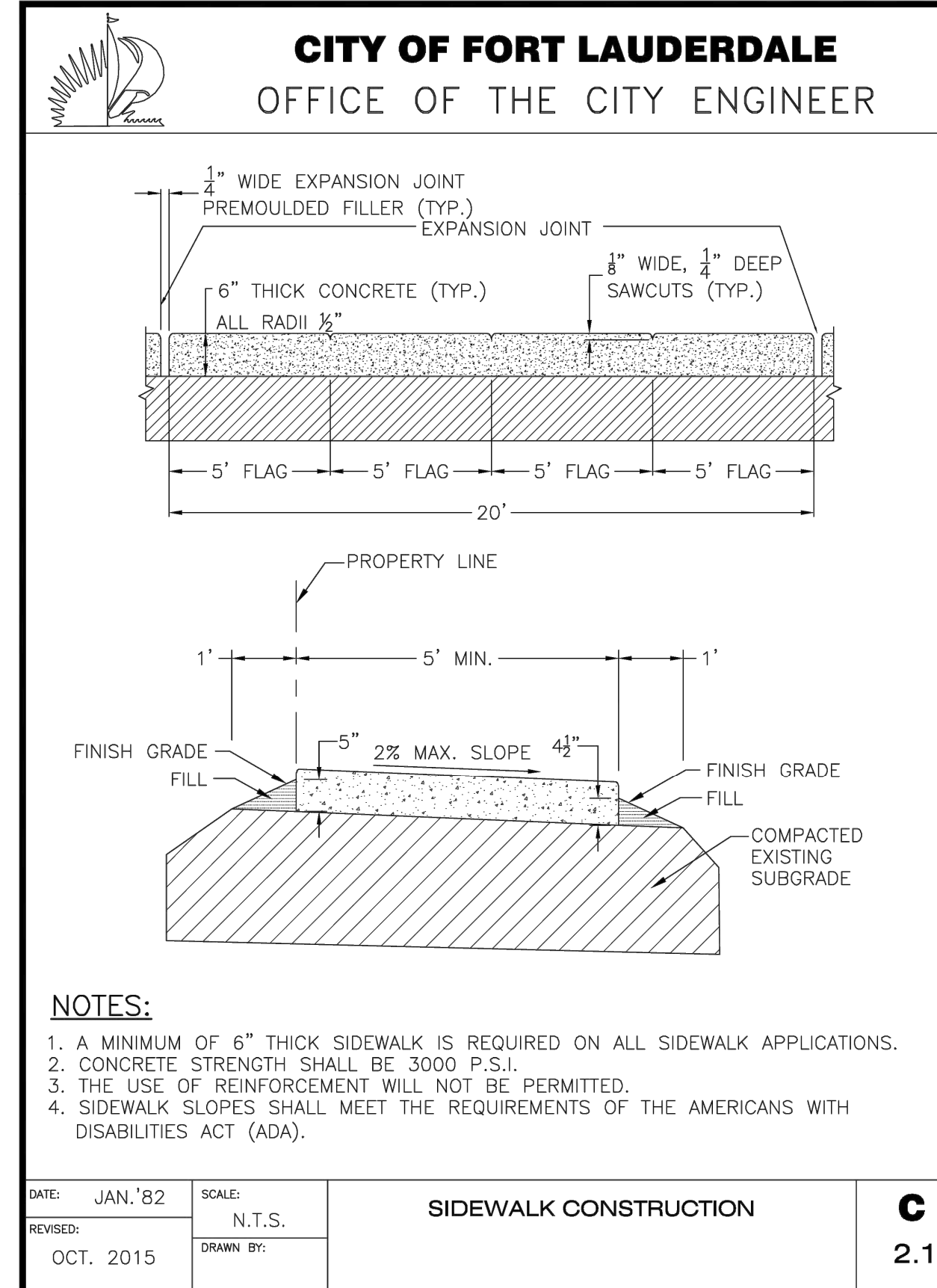
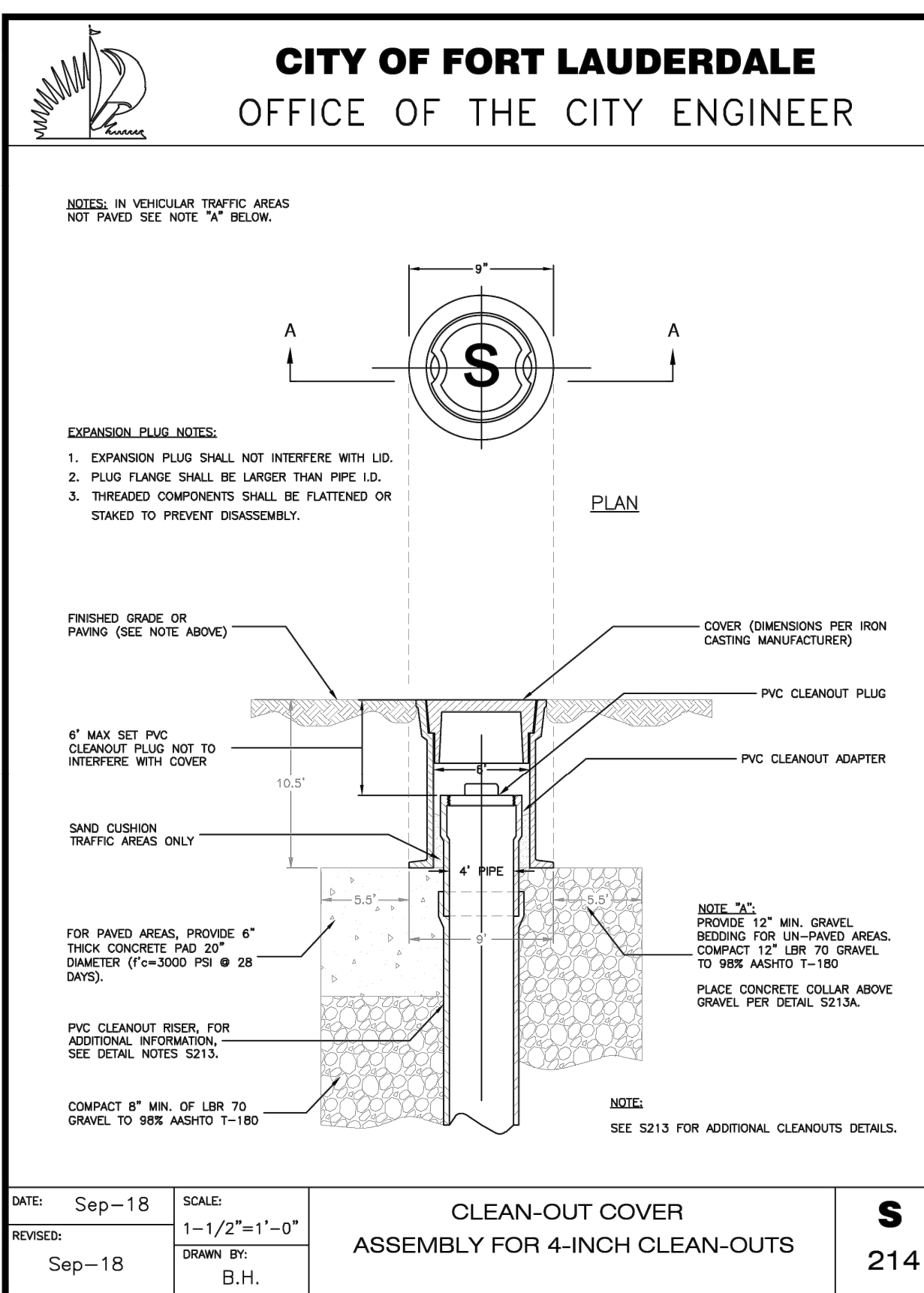
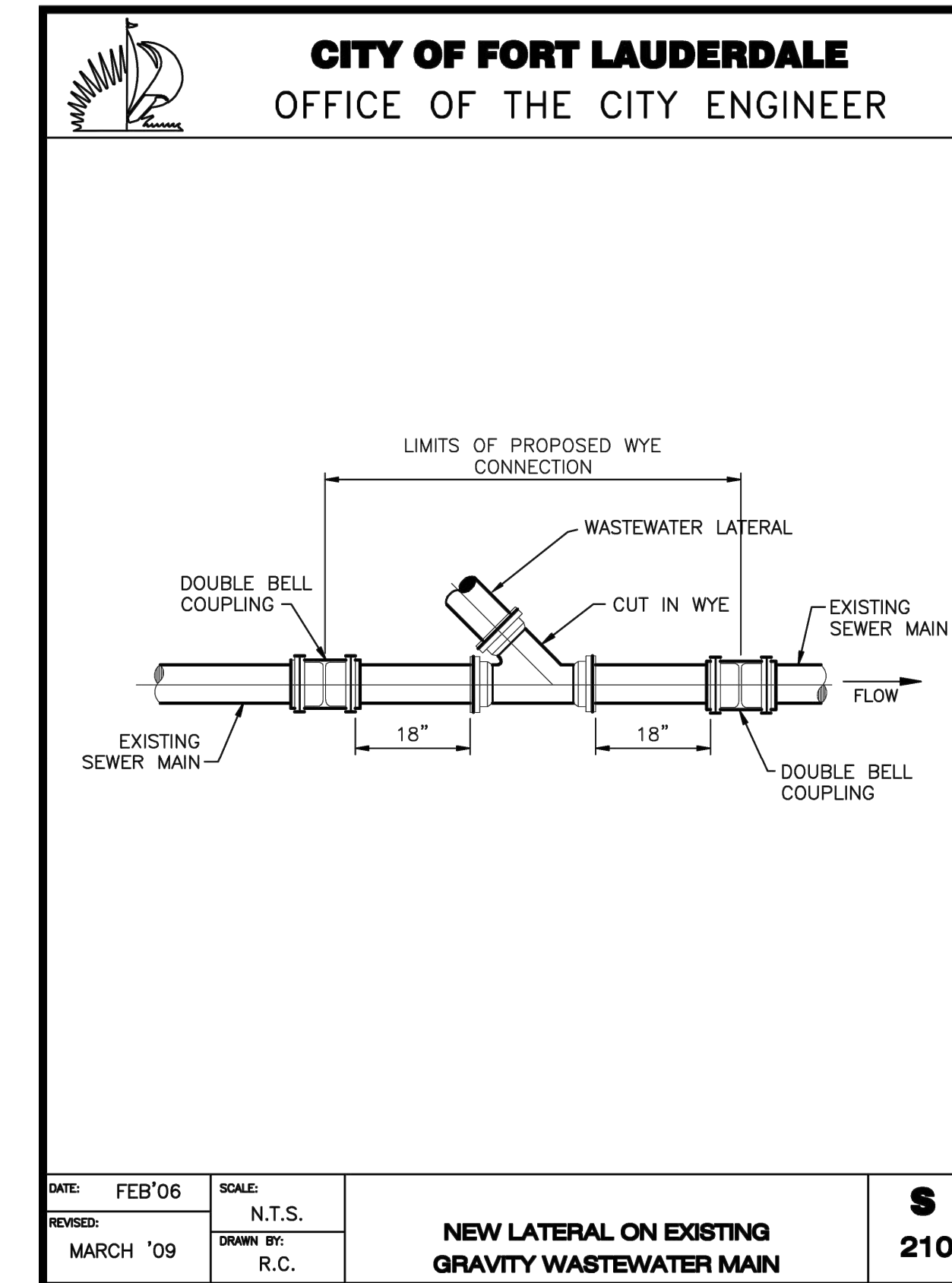
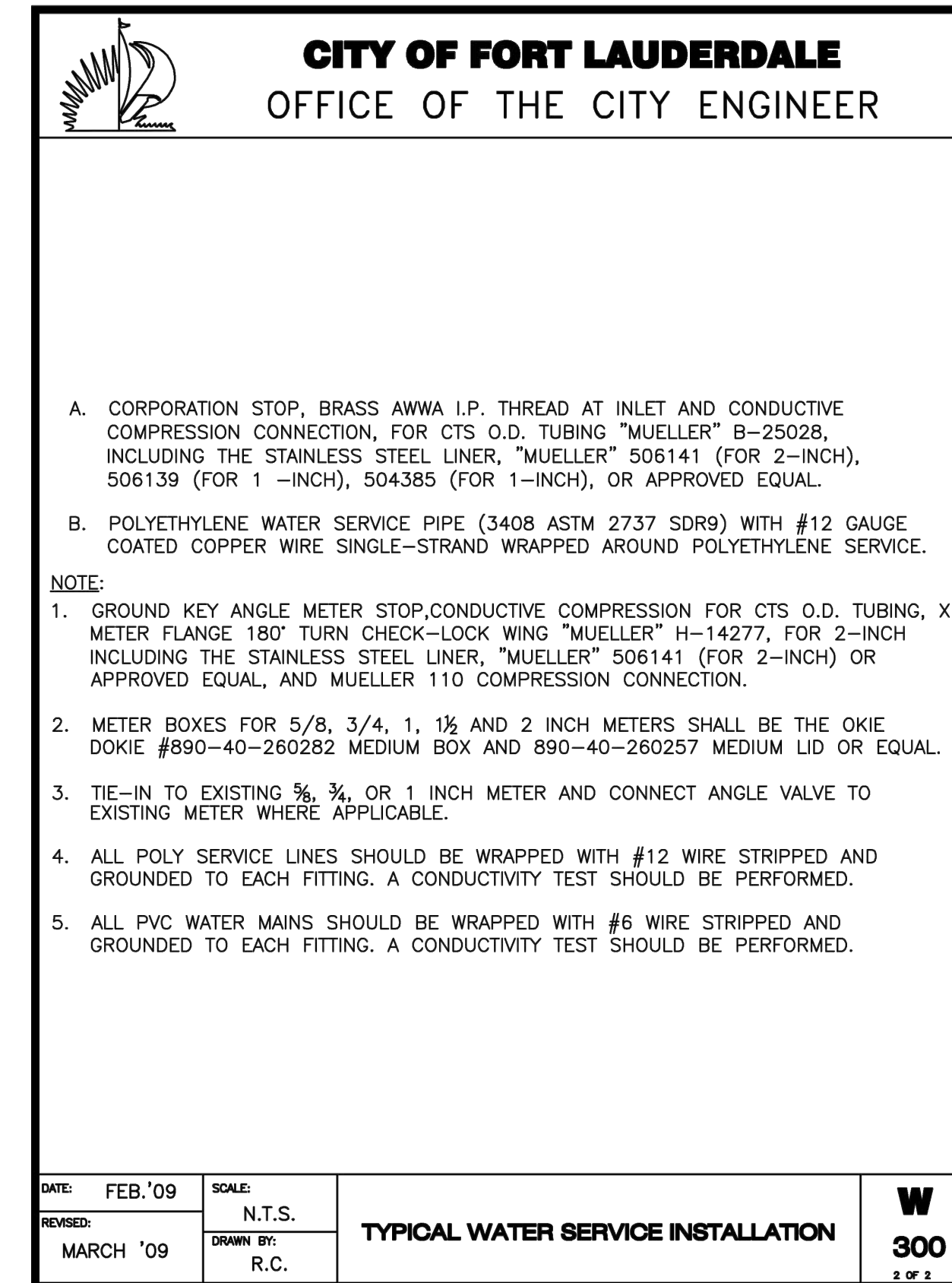
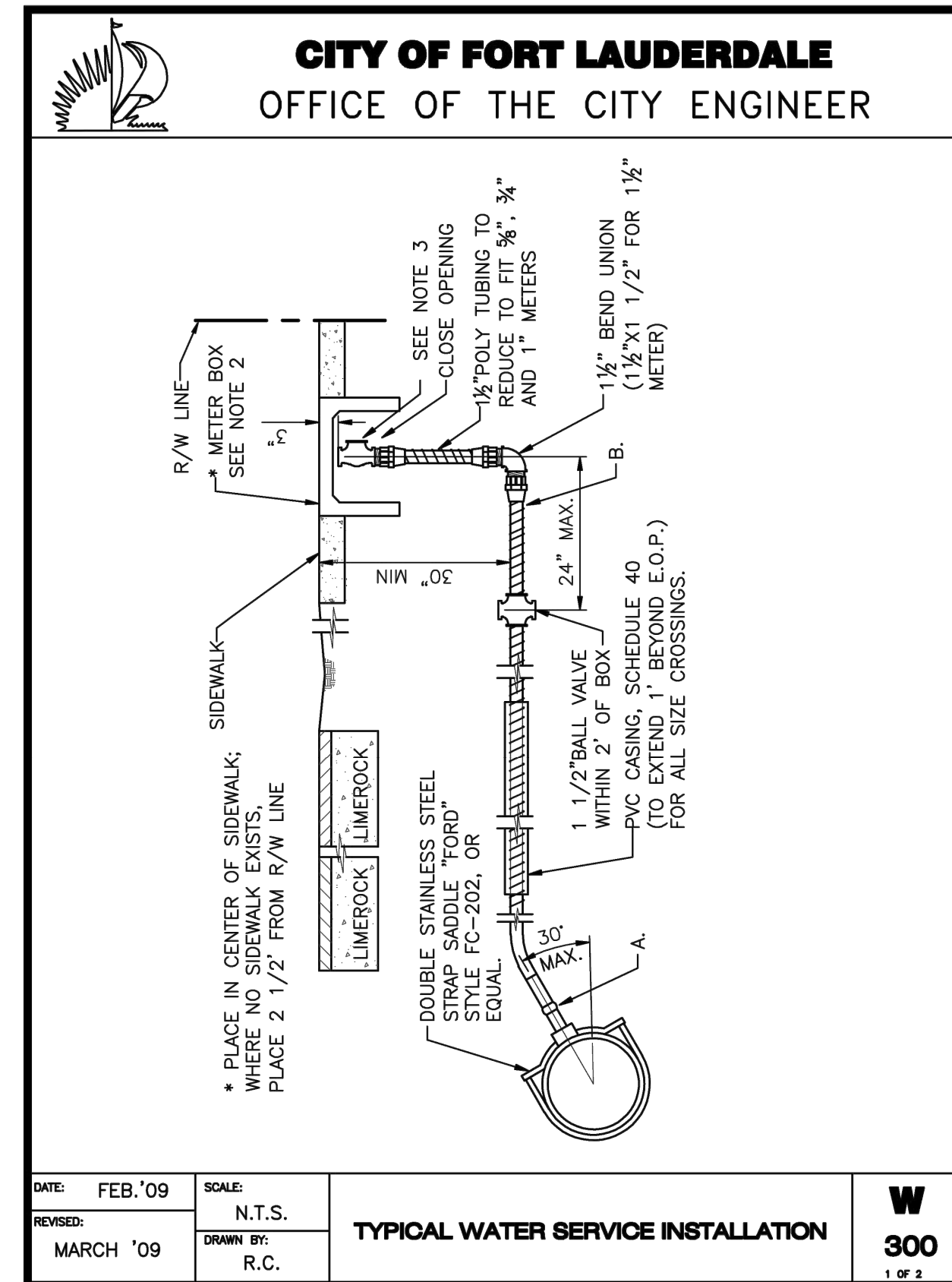
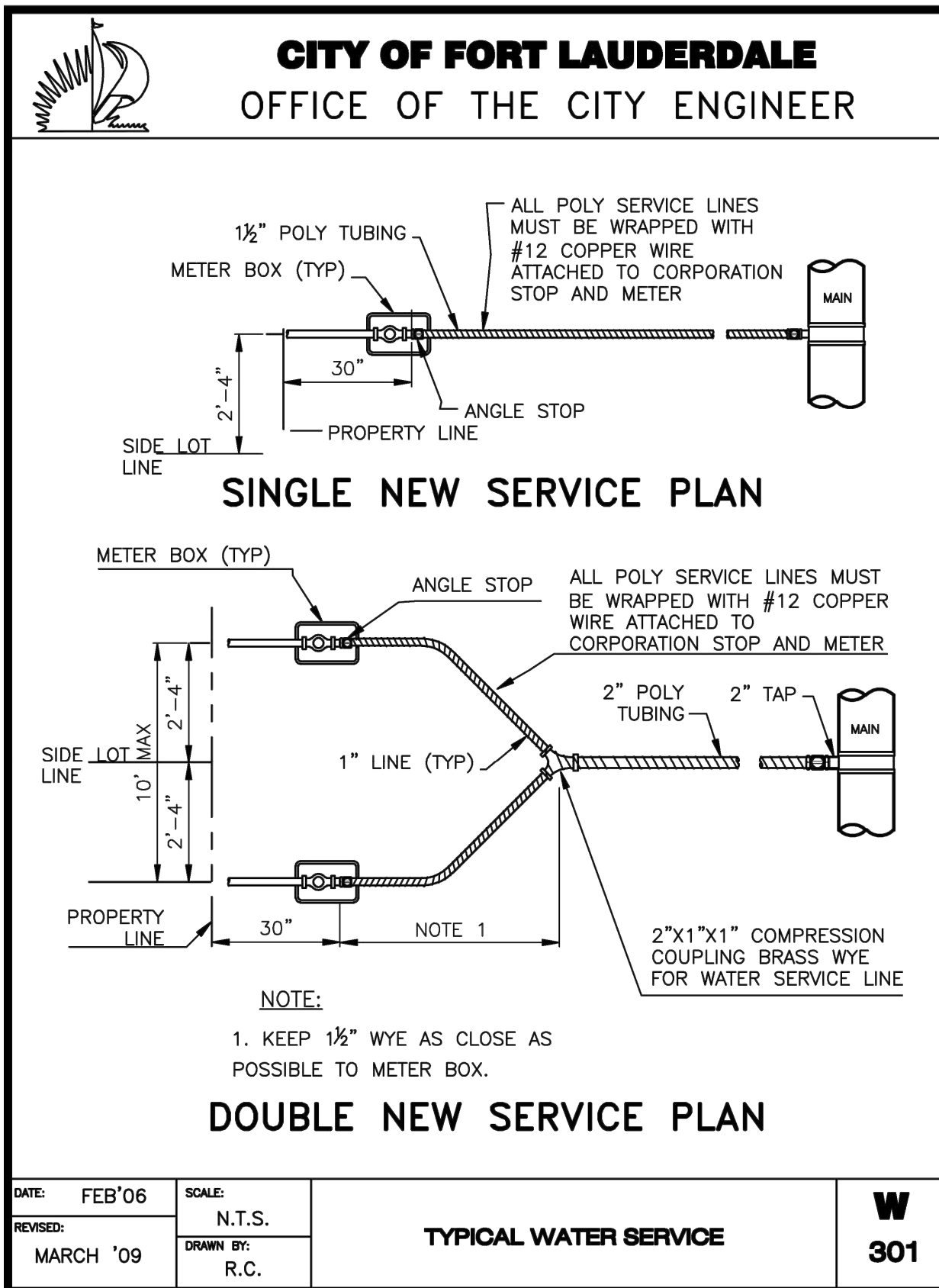
NO.	DATE	BY	DESCRIPTION
1	8.15.2025	M.V. D.M.	30% SUBMITTAL

PROJECT # P-12328
EMERGENCY MEDICAL SUB-STATION #88
CIVIL STANDARD DETAILS (1)

SHEET NO. 9 OF 12

C-09

TOTAL: 12
CAD FILE:
12328-C09-DETS.dwg
DRAWING FILE NO.



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**PRELIMINARY PLAN
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PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

CES
CONSULTANTS

DATE: 06/21/2025
DRAWN BY: J.C. R.L.
DESIGNED BY: SCALE:
D.M.
CHECKED BY: M.V.
FIELD BOOK:

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	DESCRIPTION
1	8.15.2025	M.V. D.M.	30% SUBMITTAL


PROJECT # P-12328
EMERGENCY MEDICAL SUB-STATION #88
CIVIL STANDARD DETAILS (2)

SHEET NO. 10 OF 12
C-10


TOTAL: 12
CAD FILE: 12328-C10-DETS.dwg
DRAWING FILE NO.

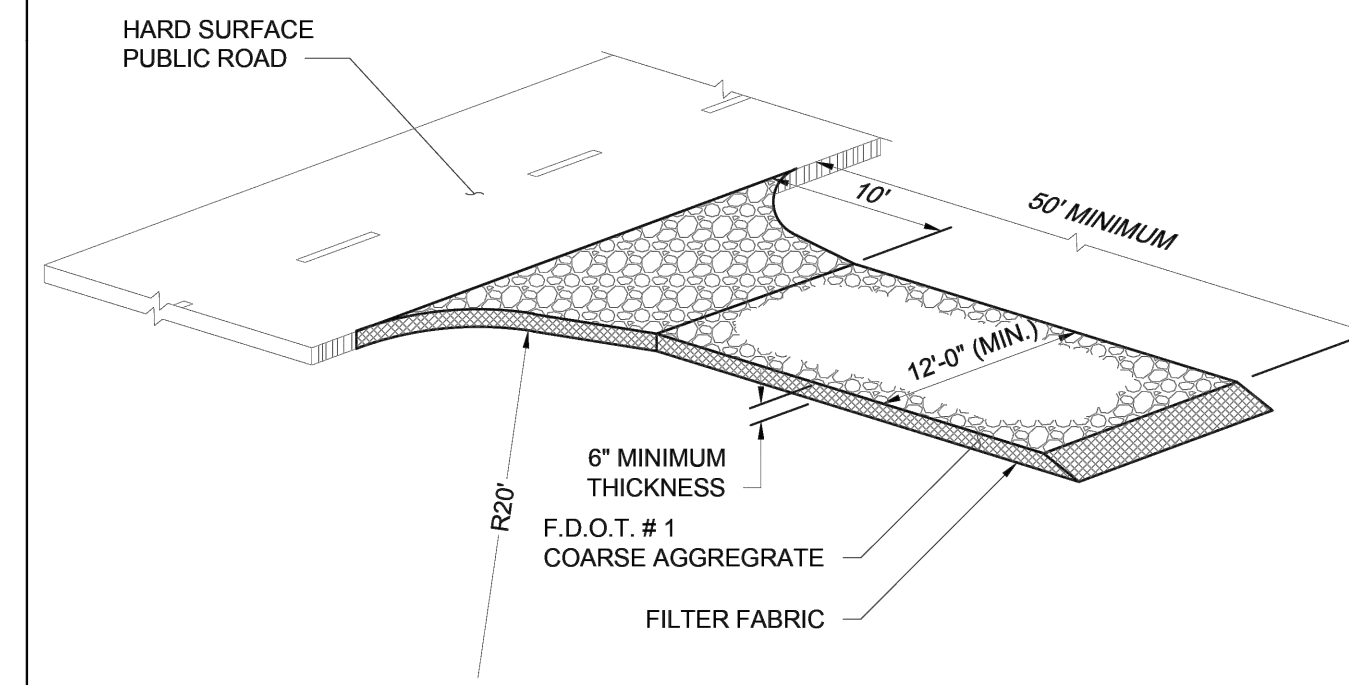
EROSION AND SEDIMENT CONTROL:

- CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION IN ORDER TO ENSURE POLLUTION PREVENTION. CONTRACTOR TO COMPLY WITH ALL LOCAL STATE AND OTHER GOVERNMENTAL ENVIRONMENTAL REGULATIONS THROUGHOUT CONSTRUCTION.
- DURING CONSTRUCTION ALL CATCH BASIN INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT AND DEBRIS FROM ENTERING THE CATCH BASIN.
- SILT FENCES SHALL BE INSTALLED AS NECESSARY TO CONTROL OR PREVENT DISCHARGE OF SEDIMENT ONTO ADJACENT UNDISTURBED AREAS, OR OFF-SITE AREAS.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN A REASONABLE PERIOD OF TIME TO ASSURE MINIMUM EROSION OF SOILS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SODED AS SPECIFIED WITHIN 30 DAYS OF FINAL GRADING.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY CITY, COUNTY, AND STATE OF FLORIDA ON SITE INSPECTION, AT NO ADDITIONAL COST TO THE OWNER.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- BURNING OF DEBRIS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE IF IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES IF EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC. THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES. EROSION CONTROL BARRIER SHALL BE ESTABLISHED AS THE FIRST ITEM OF WORK.

 CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS 100 North Andrews Avenue, Fort Lauderdale, Florida 33301	EROSION AND SEDIMENT CONTROL NOTES	SHEET 1 ESC 001 20170708
	SHEET 1 OF 2	

- THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S STORMWATER PERMITTING PROGRAM APPLIES TO ALL CONSTRUCTION ACTIVITY THAT: 1) CONTRIBUTE STORMWATER DISCHARGES TO SURFACE WATER OF THE STATE OR INTO A MUNICIPAL SEWER SYSTEM (MS4); 2) DISTURBS ONE OR MORE ACRES OF LAND, OR 3) LESS THAN ONE ACRE IS INCLUDED IF THE ACTIVITY IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT THAT WILL MEET OR EXCEED THE ONCE ACRE THRESHOLD. DISTURB INCLUDES CLEARING, GRADING AND EXCAVATING.
- FOR CONSTRUCTION ACTIVITY THAT IS SUBJECT TO THE NPDES FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S STORMWATER PERMITTING PROGRAM, THE CONTRACTOR SHALL:
 - OBTAIN A GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DOCUMENT 62-621.300(4)(A).
 - COMPLY WITH ALL REQUIREMENTS OF THE GENERIC PERMIT.
 - DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
 - COMPLETE A NOTICE OF INTENT (NOI) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FORM 62-621.300(4)(B) IN ITS ENTIRETY USING THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S WEBSITE.
- SUBMIT COPIES OF THE SWPPP AND THE NOI TO THE ENGINEER AS INFORMATIONAL RECORDS. THESE SUBMITTALS WILL NOT BE REVIEWED BY THE ENGINEER.
- CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING STORMWATER INFRASTRUCTURE THAT IS IMPACTED BY CONSTRUCTION ACTIVITIES, BEFORE LEAVING THE JOBSITE.
- CONTRACTOR TO REMOVE ALL FILTER FABRIC AND POLLUTION PREVENTION ITEMS BEFORE THE FINAL WALK-THROUGH.

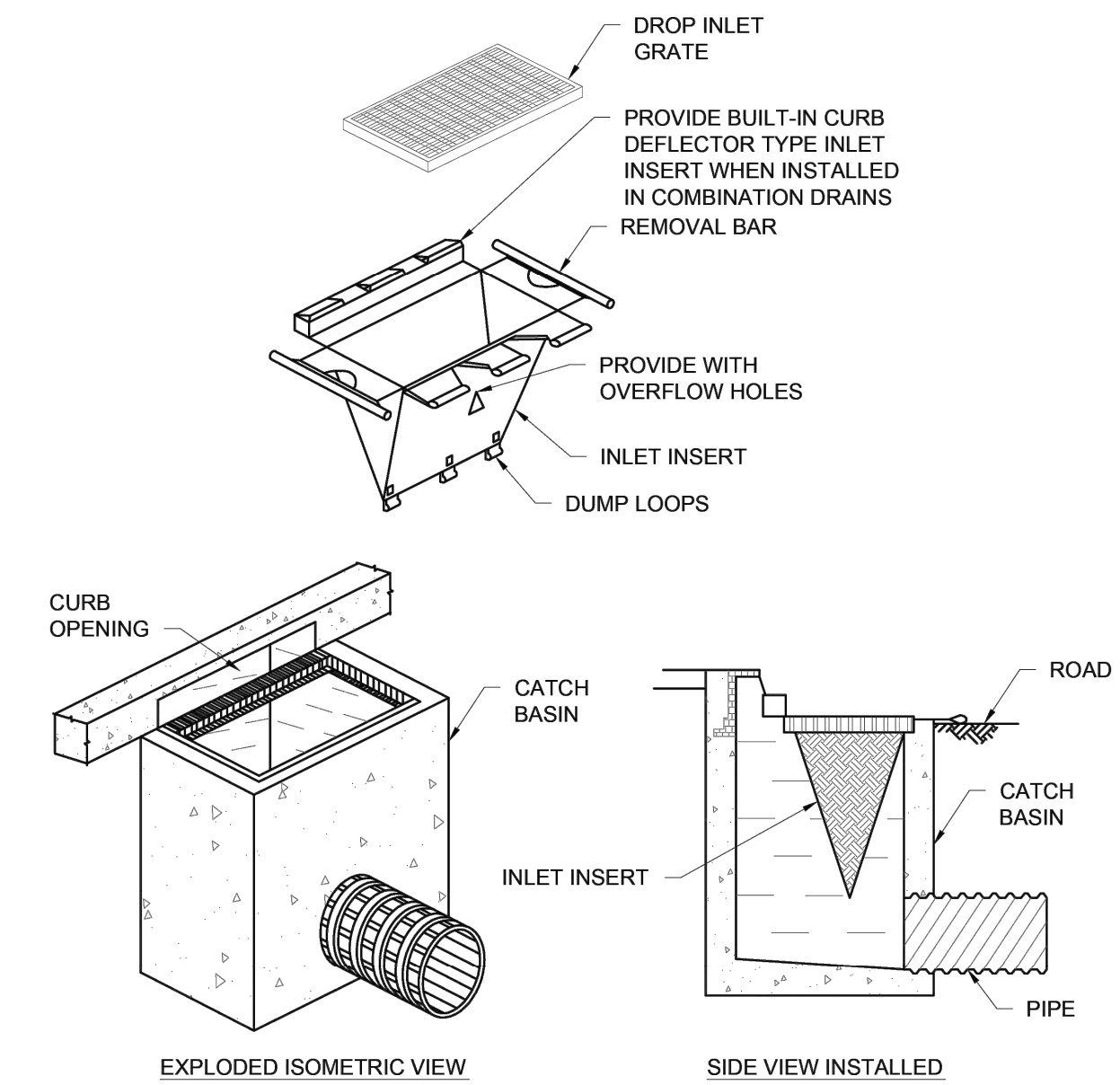
 CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS 100 North Andrews Avenue, Fort Lauderdale, Florida 33301	EROSION AND SEDIMENT CONTROL NOTES	SHEET 2 ESC 001 20170708
	SHEET 2 OF 2	



NOTES:


- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

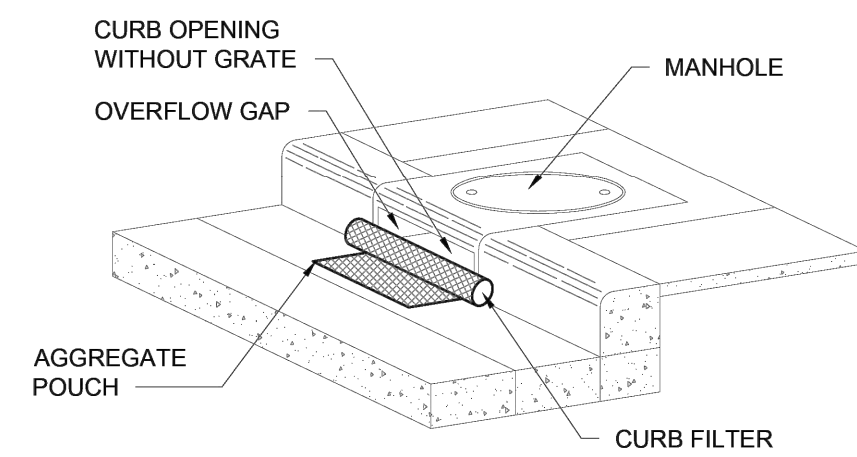
 CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS 100 North Andrews Avenue, Fort Lauderdale, Florida 33301	GRAVEL CONSTRUCTION ENTRANCE	SHEET 002 ESC 002 20170708
	SHEET 002 OF 002	



NOTES:


- THE INLET INSERT SHALL BE A SEDIMENT CONTROL DEVICE DESIGNED FOR DROP INLETS OR COMBINATION DRAINS WHERE A DROP INLET IS COUPLED WITH A CURB INLET.
- THE INLET INSERT SHALL BE MADE OF A PERMEABLE GEOTEXTILE THAT ALLOWS WATER TO PASS BUT PREVENTS SILT AND SEDIMENT FROM CLOGGING THE DRAIN SYSTEM.
- THE CONTRACTOR SHALL CLEAN AND INSPECT REGULARLY AND AFTER EVERY MAJOR RAIN EVENT.
- INLET INSERTS SHALL BE 'SILTSACK' BY ACF ENVIRONMENTAL, OR EQUAL. SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH THE SPECIFICATIONS.

 CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS 100 North Andrews Avenue, Fort Lauderdale, Florida 33301	DROP INLET PROTECTION - INLET INSERT	SHEET 005 ESC 005 20170712
	SHEET 005 OF 005	



NOTES:

- INSTALL CURB FILTERS AT ALL INLETS WITHOUT GRATES TO KEEP SILT, SEDIMENT AND CONSTRUCTION DEBRIS OUT OF THE STORM SYSTEM
- THE CURB FILTER SHALL BE DANDY CURB AS MANUFACTURED BY DANDY PRODUCTS INC., OR EQUAL. SUBMIT SHOP A SHOP DRAWING FOR THE CURB FILTERS.
- THE CURB FILTER SHALL FORM OF A CYLINDRICAL TUBE PLACED IN FRONT OF AND EXTENDING BEYOND THE INLET OPENING ON BOTH SIDES.
- THE CURB FILTER SHALL HAVE A POUCH ON THE STREET SIDE OF THE UNIT FOR STONE AGGREGATE TO HOLD THE FILTER IN PLACE.
- THE CURB FILTER SHALL BE CONSTRUCTED OF A HIGH VISIBILITY ORANGE MONOFILAMENT FABRIC.
- FILL POUCH WITH FDOT #57 STONE AGGREGATE TO A LEVEL (AT LEAST HALF-FULL) THAT WILL KEEP UNIT IN PLACE DURING A RAIN EVENT AND CREATE A SEAL BETWEEN THE CURB FILTER AND THE SURFACE OF THE STREET.
- CENTER THE UNIT AGAINST CURB OR MEDIAN INLET OPENING SO THAT THE CURB SIDE OF THE UNIT CREATES A SEAL WITH THE CURB OR MEDIAN BARRIER AND INLET STRUCTURE. THERE WILL BE APPROXIMATELY TWELVE (12) INCHES OF THE INLET PROTECTION UNIT OVERHANGING ON EACH SIDE OF THE OPENING.
- THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT.

 CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DETAILS 100 North Andrews Avenue, Fort Lauderdale, Florida 33301	CURB INLET PROTECTION - CURB FILTER	SHEET 006 ESC 006 20170719
	SHEET 006 OF 006	



DATE:	06/21/2025
DRAWN BY:	J.C. R.L.
DESIGNED BY:	D.M.
CHECKED BY:	M.V.
FIELD BOOK:	

CITY OF FORT LAUDERDALE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING & ARCHITECTURE
 100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	REVISIONS	
			CHK'D	DESCRIPTION
1	8.15.2025	M.V.	D.M.	30% SUBMITTAL

PROJECT # P-12328
 EMERGENCY MEDICAL SUB-STATION #88
 EROSION CONTROL DETAILS

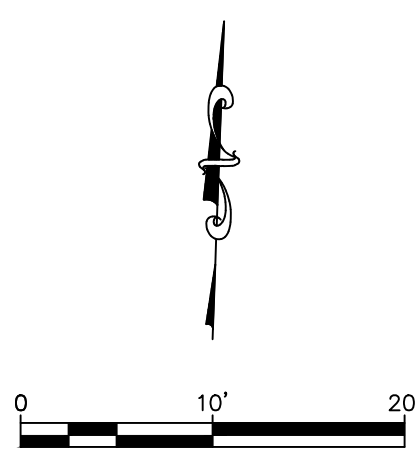
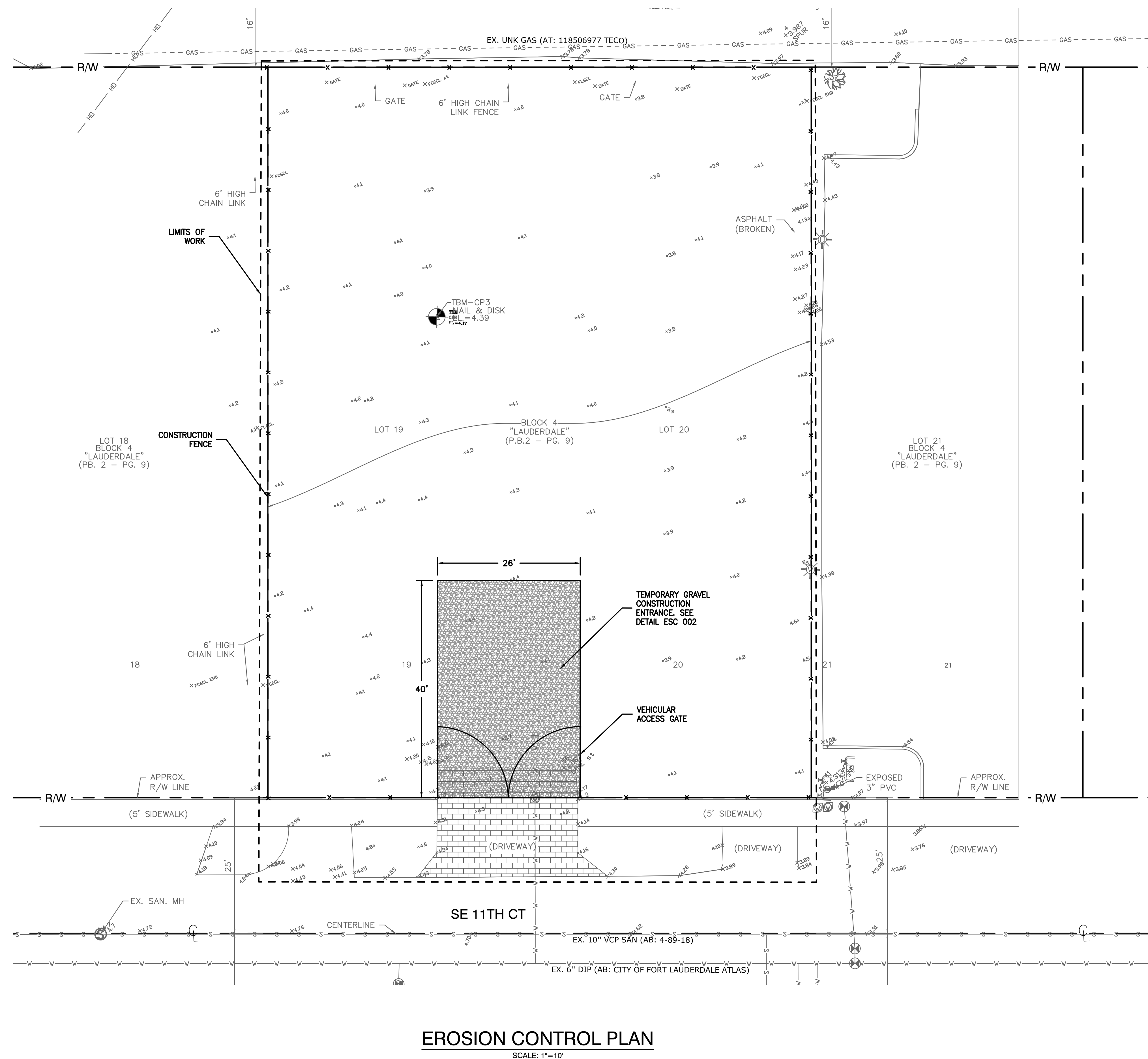
SHEET NO. 11	OF 12
C-11	
TOTAL: 12	
CAD FILE: 12328-C11-DERSN.dwg	
DRAWING FILE NO.	

DRC SUBMITTAL - PRELIMINARY
 NOT FOR CONSTRUCTION OR BIDDING

**PRELIMINARY PLAN
 NOT FOR CONSTRUCTION**
 THESE PLANS ARE NOT FULLY PERMITTED
 AND ARE SUBJECT TO REVISIONS MADE
 DURING THE PERMITTING PROCESS.
 RESPONSIBILITY FOR THE USE OF THESE
 PLANS PRIOR TO OBTAINING PERMITS FROM
 ALL AGENCIES HAVING JURISDICTION OVER
 THE PROJECT WILL FALL SOLELY UPON THE
 USER.

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

NO.	DATE	BY	CHK'D	DESCRIPTION
1	8.15.2025	M.V.	D.M.	30% SUBMITTAL



EROSION CONTROL NOTES:

1. ALL MEASURES STATED ON THE EROSION CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION ON THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DATES AND WITHIN 24 HOURS OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY SO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY DRIVEWAY AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR DRIVING). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY DIVING AREA AS CONDITIONS DEMAND.
6. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

EROSION CONTROL PLAN
SCALE: 1"=10'

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

PRELIMINARY PLAN
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MARK	DATE	DESCRIPTION

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DESIGNED BY: D. PACHECO	DRAWN BY: A. DURAN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2502	DATE: JULY 2025	SCALE: AS SHOWN	

**City of Fort
Lauderdale -
Station #88**

DCP-P12328 TASK 2

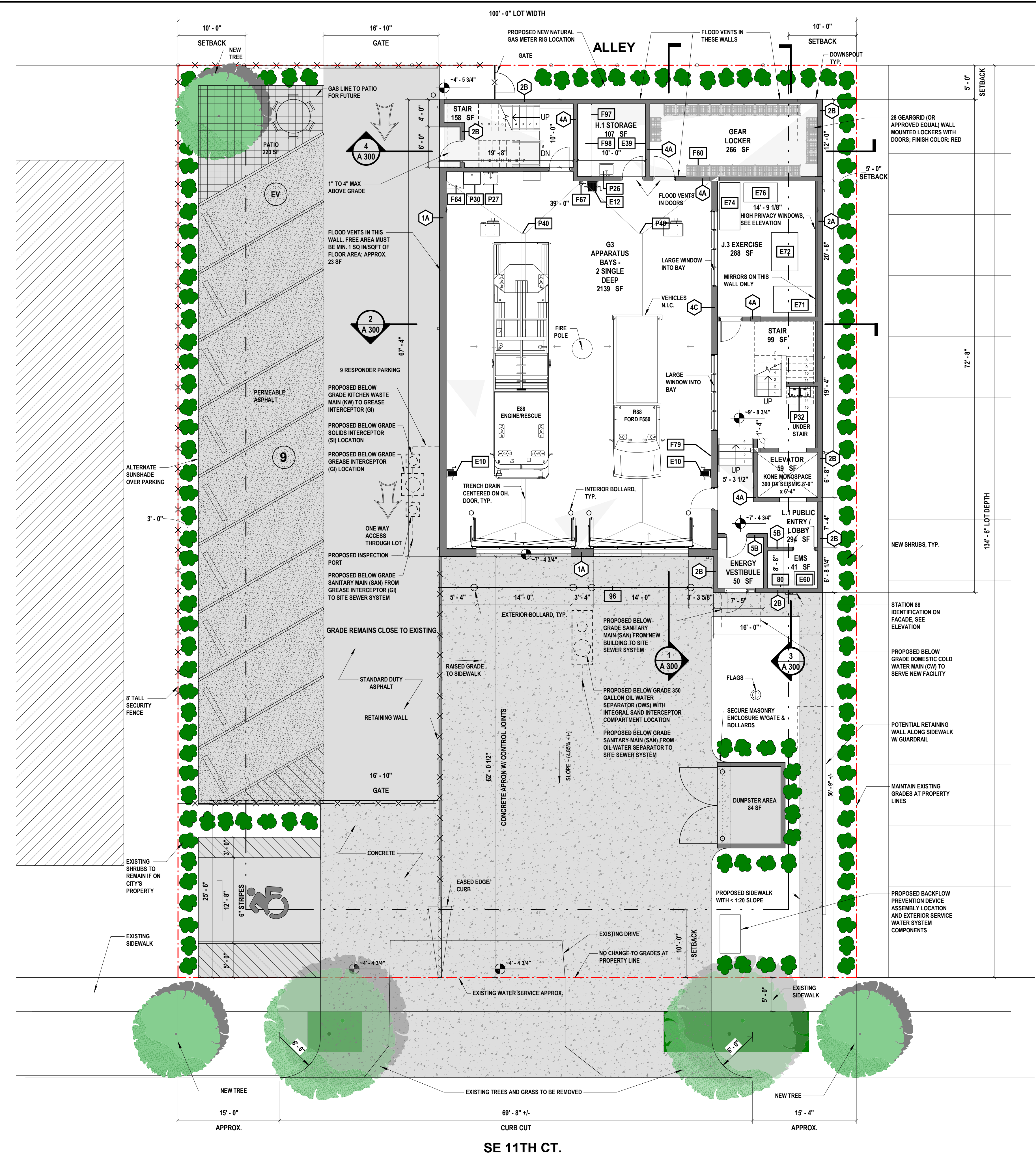
507 SE 11th Ct.
FORT LAUDERDALE, FL 33316

SCHEMATIC DESIGN

STATUS
DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

SHEET TITLE
SCHEMATIC PLAN - FIRST FLOOR

DRAWING No.
A 101.00





MARK	DATE	DESCRIPTION

**PRELIMINARY PLAN
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PROJECT No: FTLD2502	DATE: JULY 2025	SCALE: AS SHOWN	

**City of Fort
Lauderdale -
Station #88**

DCP-P12328 TASK 2

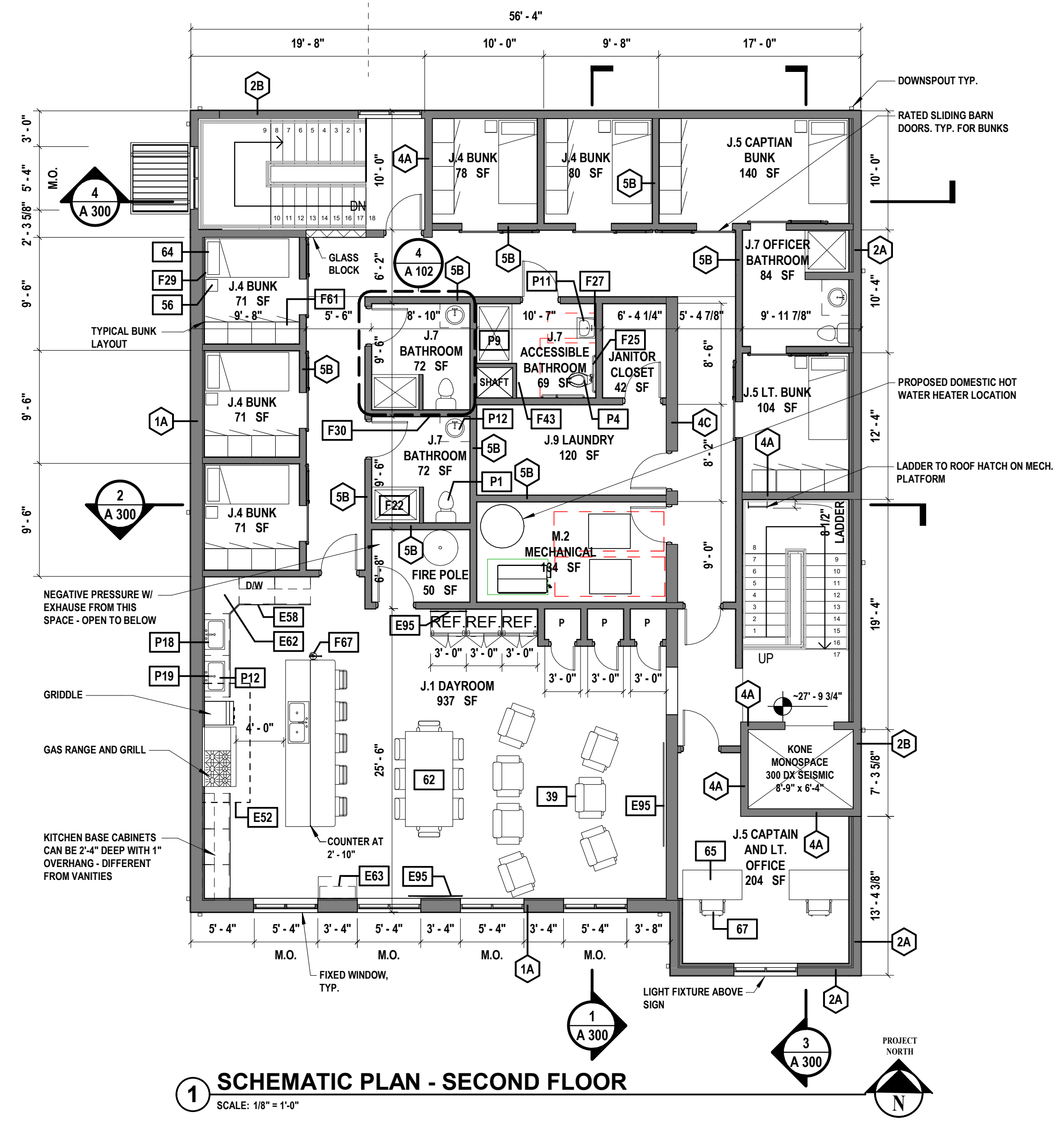
507 SE 11th Ct.
FORT LAUDERDALE, FL 33316

CONTRACT
SCHEMATIC DESIGN

STATUS
DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

SHEET TITLE
**SCHEMATIC PLANS - MEZZANINE
AND SECOND FLOOR**

DRAWING No.
A 102.00

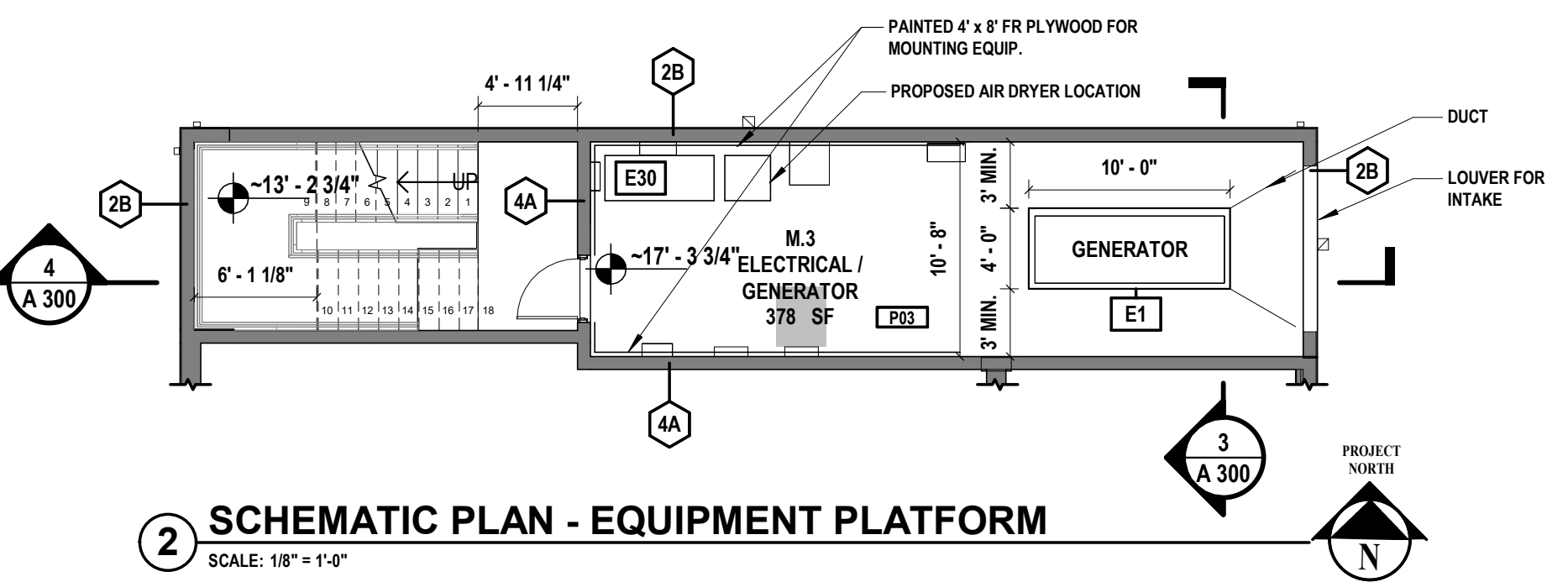


1 SCHEMATIC PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"

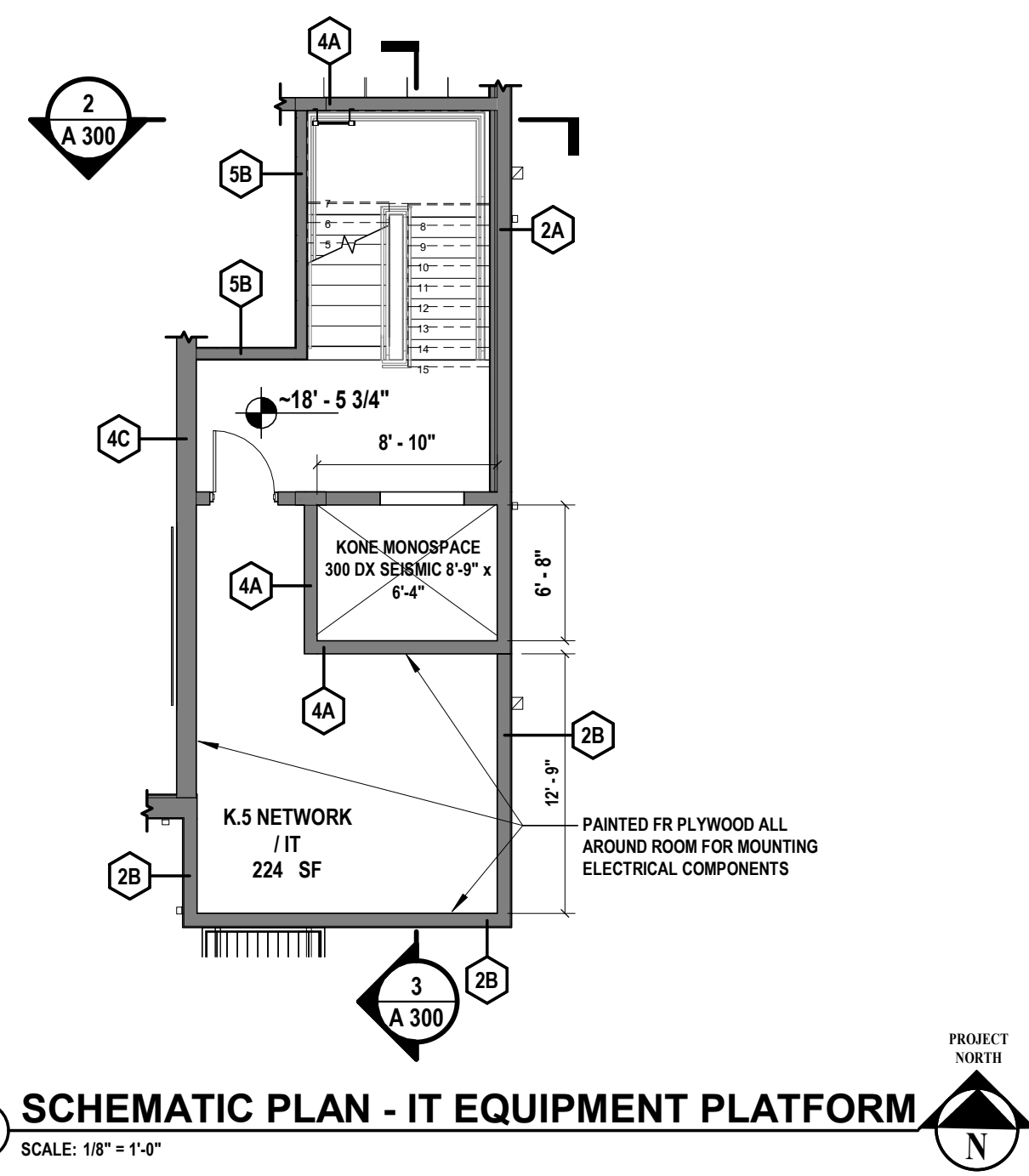
BUILDING AREAS:	
FIRST FLOOR/ FOOTPRINT:	3,897 SQFT
SECOND FLOOR:	3,897 SQFT
TOTAL GROSS FIRST AND SECOND FLOOR AREA:	7,794 SQFT
PENTHOUSE/ EQUIPMENT PLATFORMS:	1,220 SQFT
TOTAL BUILDING AREA:	9,014 SQFT

KEYNOTE LEGEND	
Key Value	Keynote Text
39	RECLINER
56	NIGHT STAND
62	TABLE (DINING) 4' X 9 1/2"
64	TWIN BED, EXTRA LONG
65	OFFICE DESK
67	OFFICE CHAIR
E1	GENERATOR
E30	COMPRESSOR
E52	COMMERCIAL HOOD
E58	DISHWASHER - UNDERCOUNTER
E62	MICROWAVE
E63	COFFEE MAKER
E95	TV WALL MOUNT AND TV
F22	SHOWER STALL PAN
F25	ADA GRAB BARS

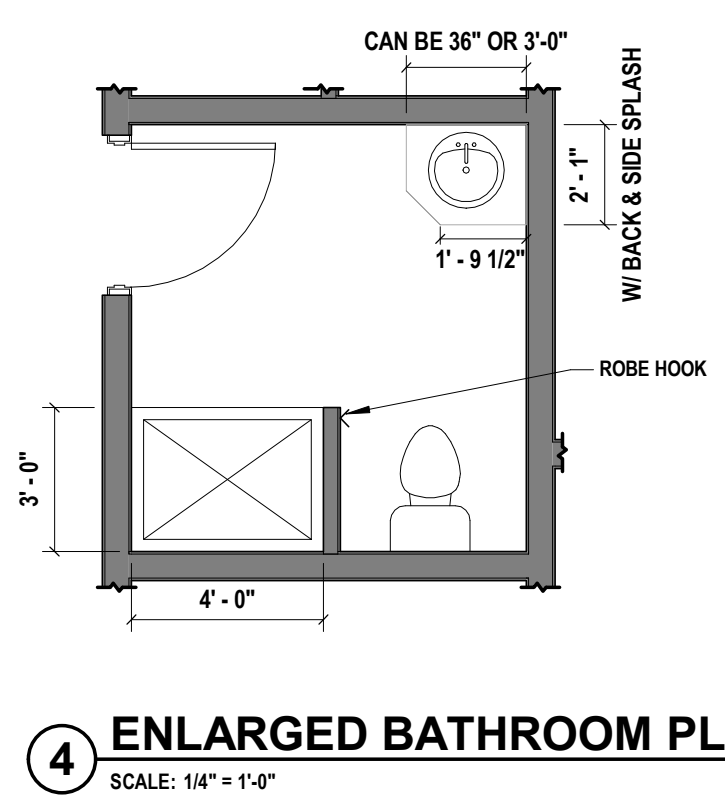
KEYNOTE LEGEND	
Key Value	Keynote Text
F27	MIRROR
F29	READING LIGHT
F30	SOAP DISPENSER
F43	ROBE HOOK
F61	PERSONAL LOCKER
F67	FIRE EXTINGUISHER - SURFACE MOUNTED
P1	TOILET - FLOOR MOUNTED
P4	TOILET - WALL HUNG (ADA)
P9	SHOWER STALL PAN (ADA) RECESSED IN SLAB
P11	LAVATORY - WALL MOUNTED (ADA)
P12	LAVATORY - DROP IN
P18	GOOSENECK FAUCET
P19	SPRAY/RINSE FAUCET



2 SCHEMATIC PLAN - EQUIPMENT PLATFORM
SCALE: 1/8" = 1'-0"



3 SCHEMATIC PLAN - IT EQUIPMENT PLATFORM
SCALE: 1/8" = 1'-0"





MARK	DATE	DESCRIPTION

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USER.

DESIGNED BY: D. PACHECO	DRAWN BY: A. DURAN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2502	DATE: JULY 2025	SCALE: AS SHOWN	

CLIENT
**City of Fort
Lauderdale -
Station #88**

DCP-P12328 TASK 2

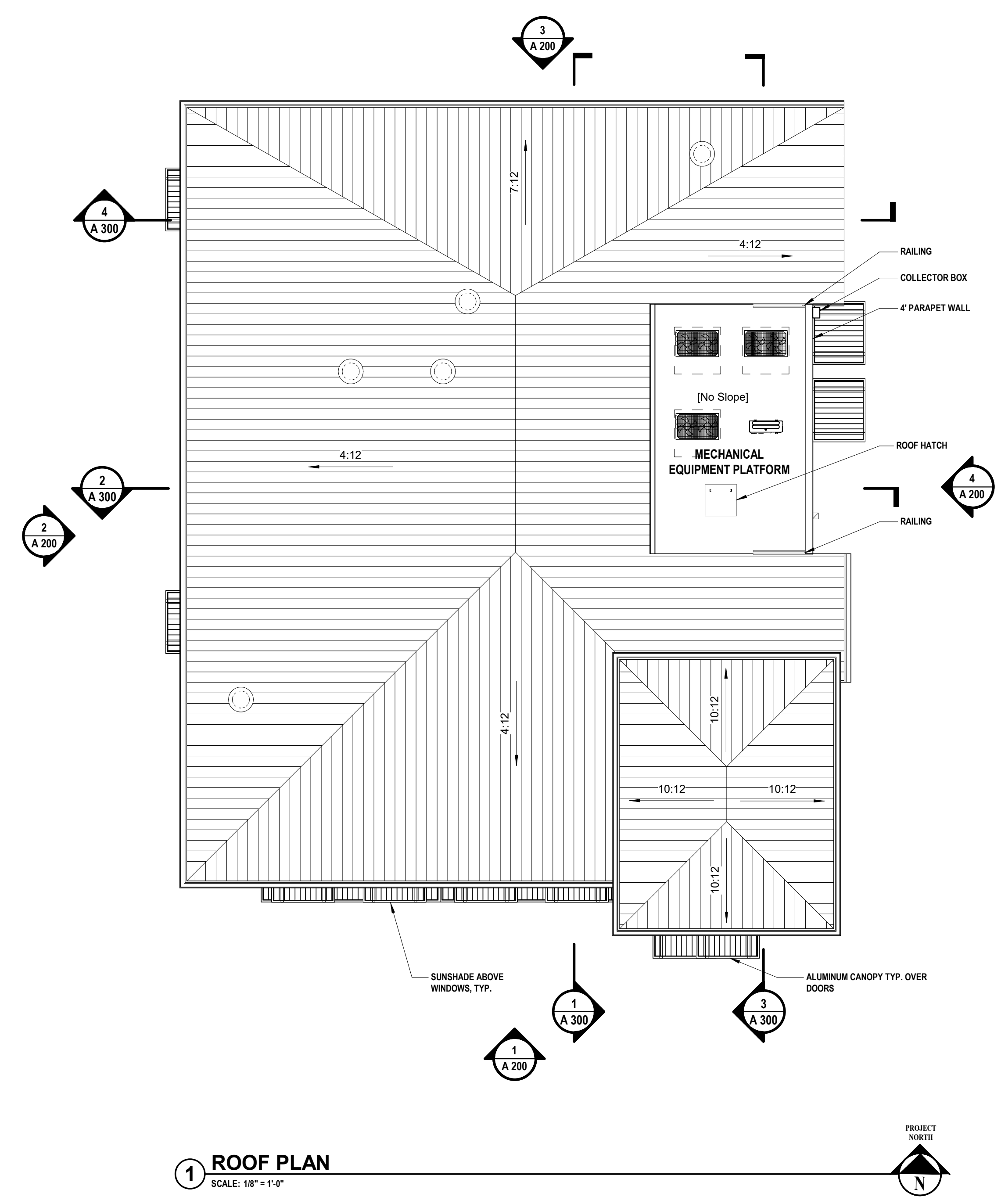
507 SE 11th Ct.
FORT LAUDERDALE, FL 33316

CONTRACT
SCHEMATIC DESIGN

STATUS
**DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING**

SHEET TITLE
SCHEMATIC ROOF PLAN

DRAWING No.
A 130.00



1 ROOF PLAN
SCALE: 1/8" = 1'-0"



MARK	DATE	DESCRIPTION

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PROJECT No: FTLD2502	DATE: JULY 2025	SCALE: AS SHOWN	

CLIENT
City of Fort Lauderdale - Station #88

DCP-P12328 TASK 2

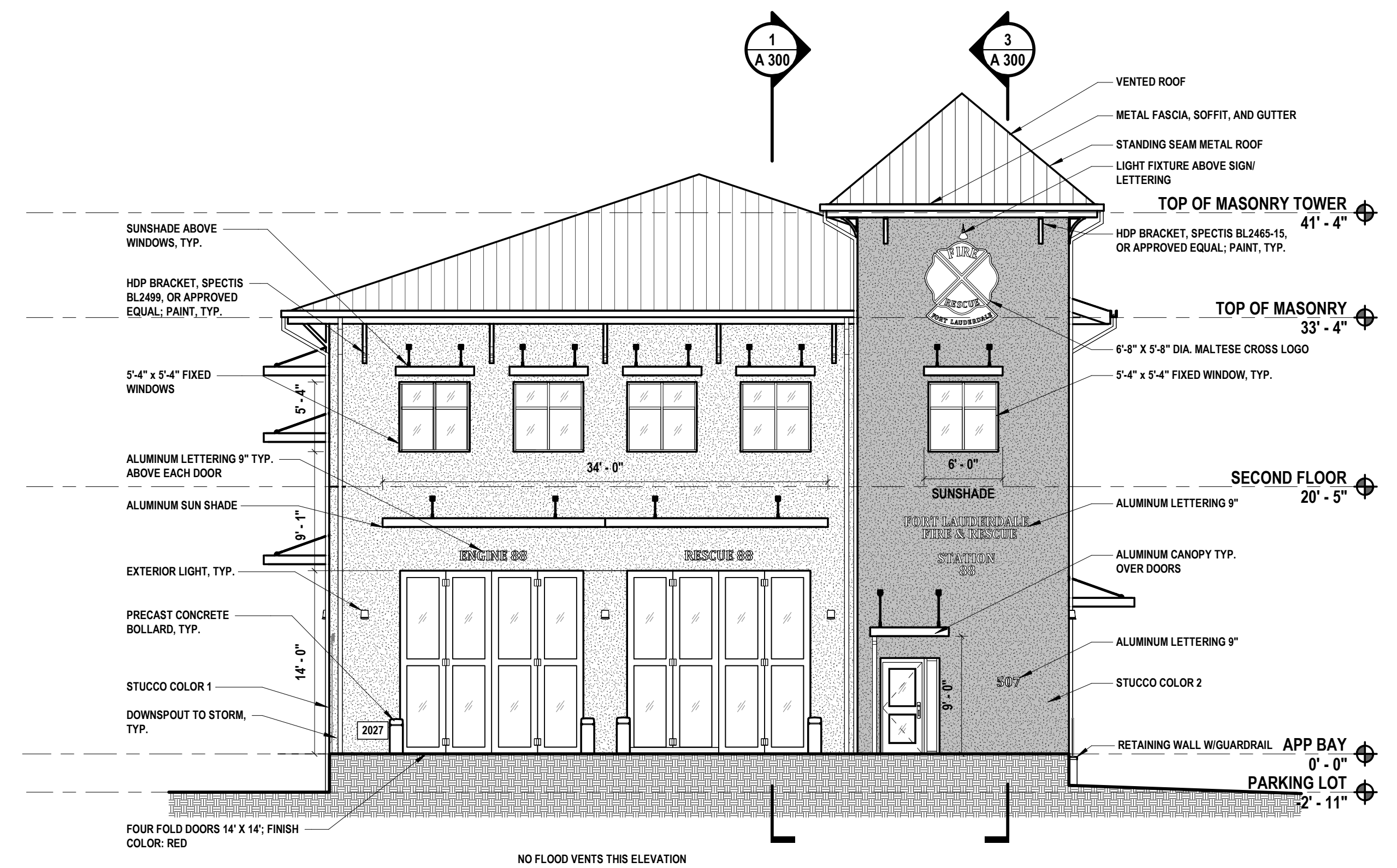
507 SE 11th Ct.
FORT LAUDERDALE, FL 33316

CONTRACT
SCHEMATIC DESIGN

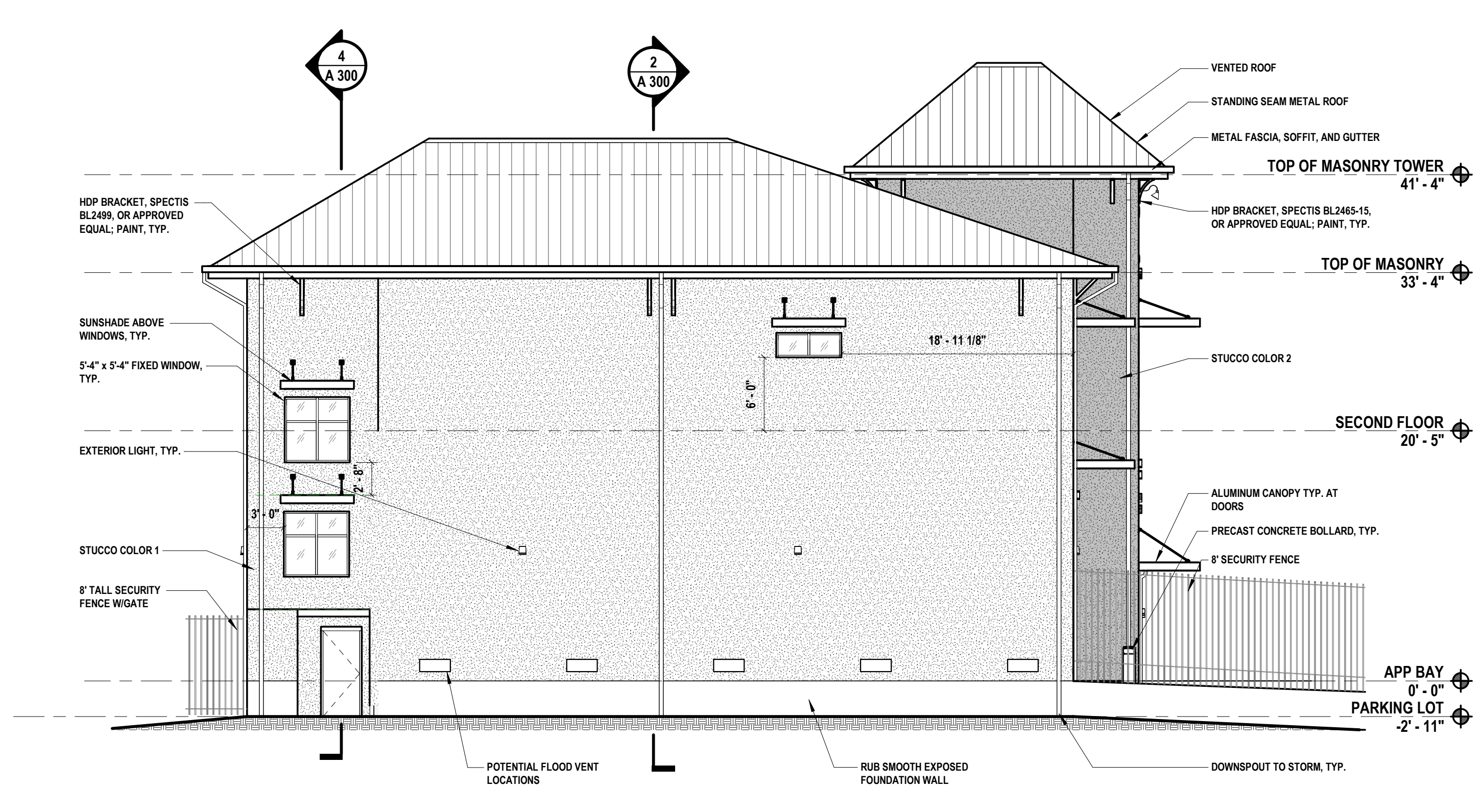
STATUS
DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

SHEET TITLE
SCHEMATIC BUILDING ELEVATIONS

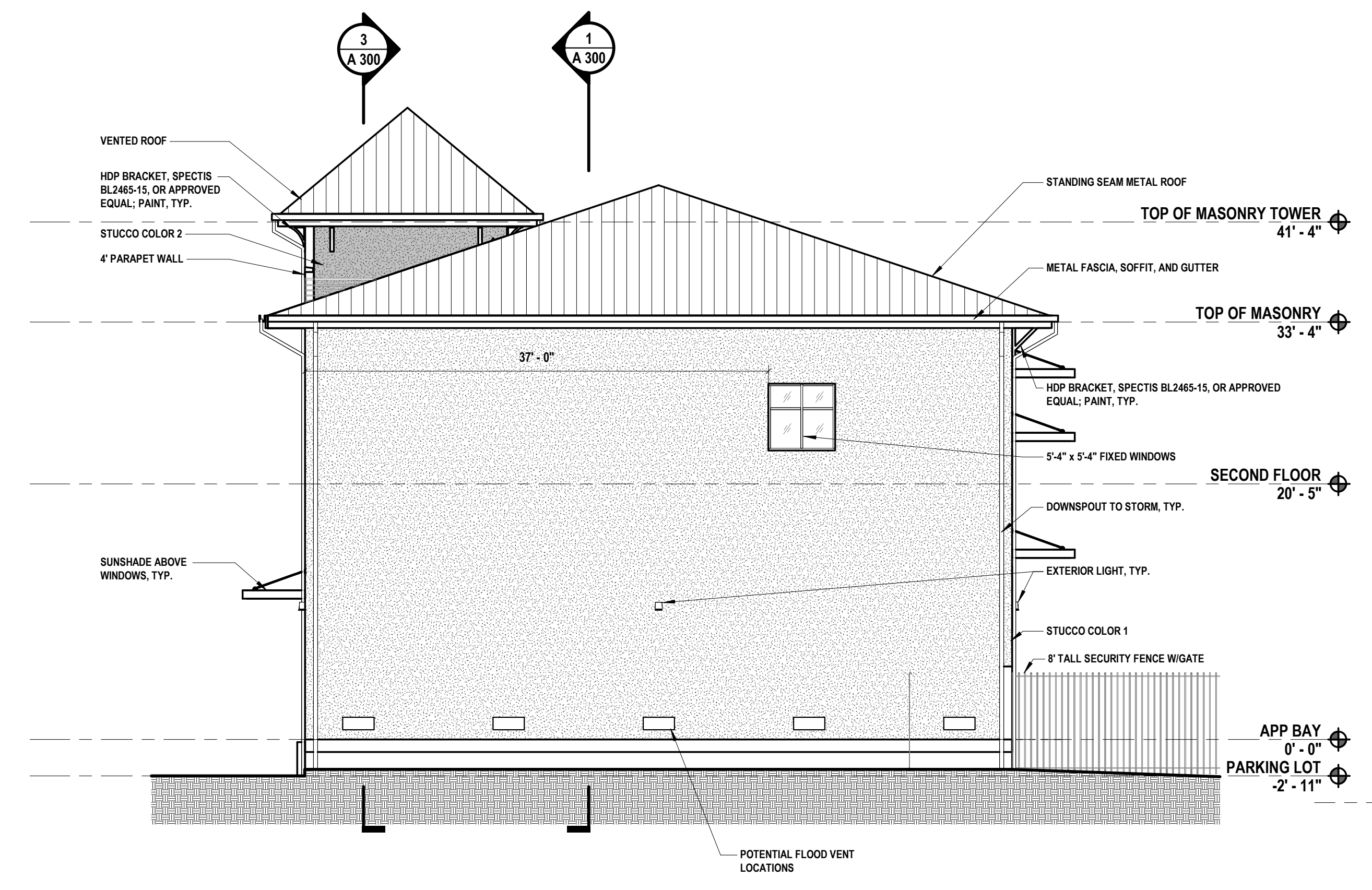
DRAWING No.
A 200.00



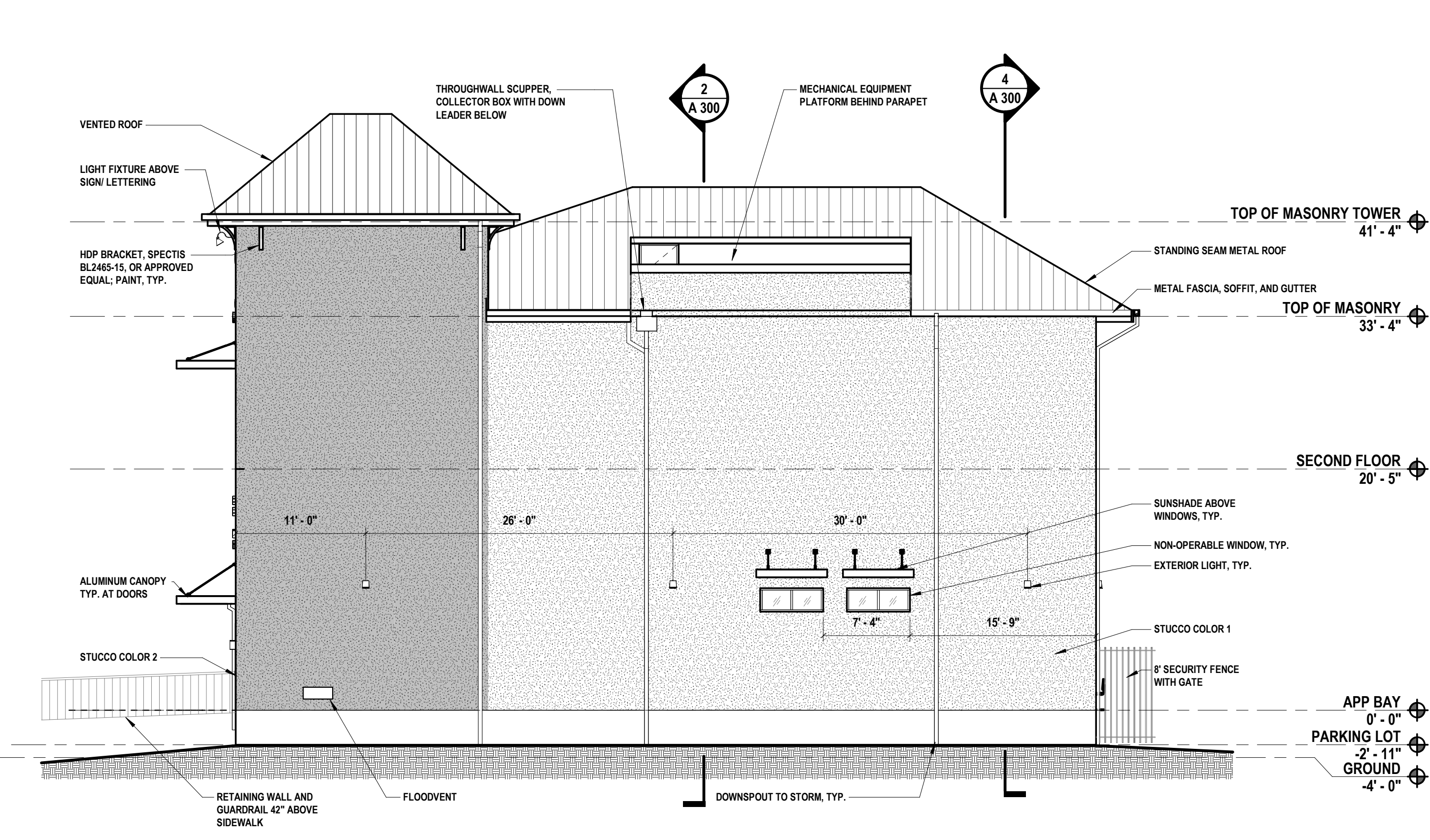
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

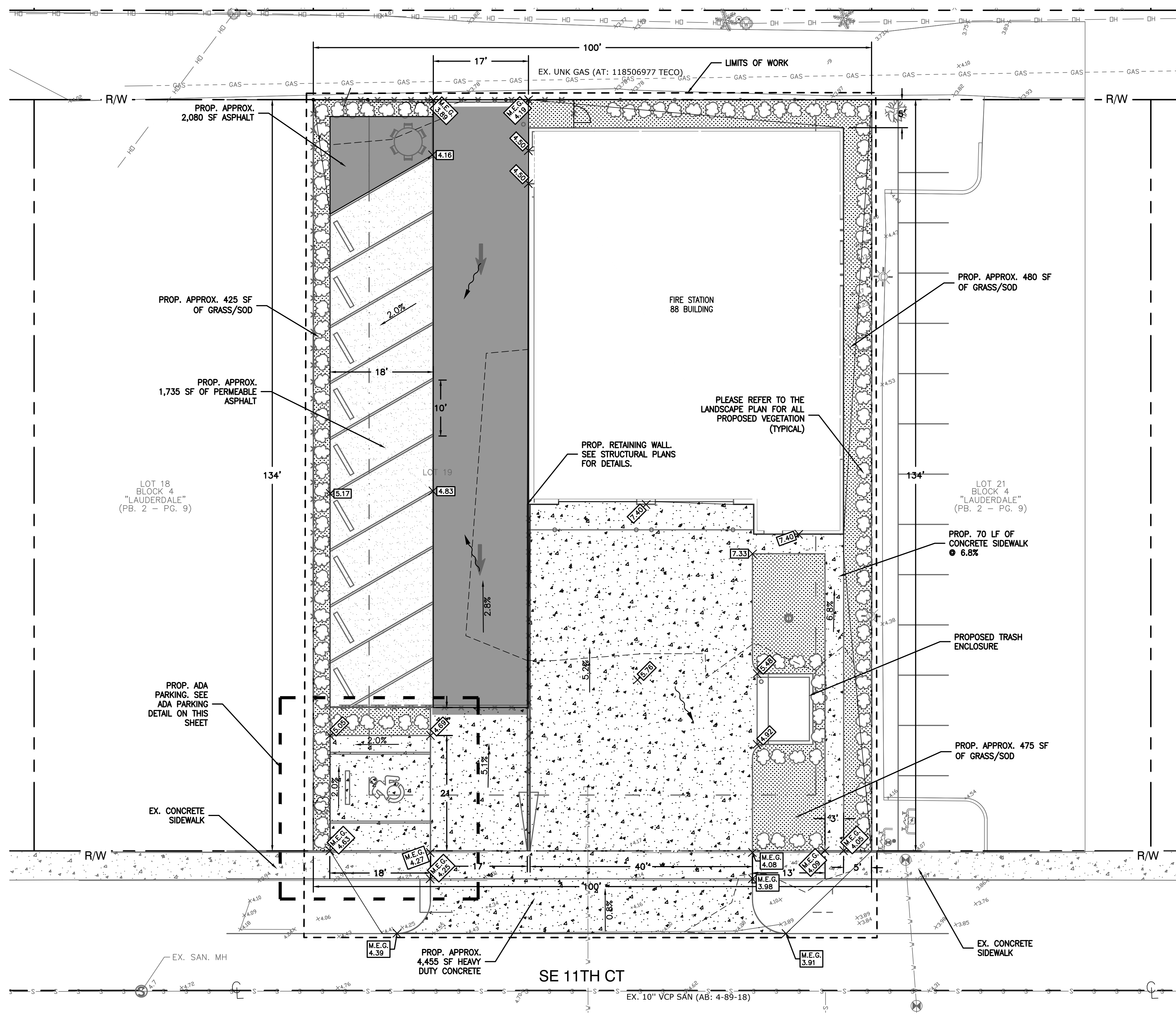


3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

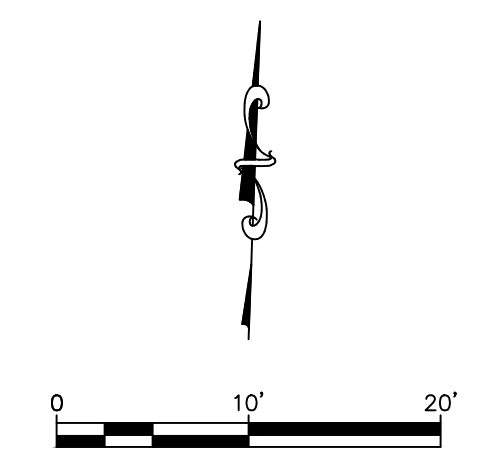


4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	8.15.2025	M.V. D.M.	30% SUBMITTAL



PROPOSED GRADING AND PAVING PLAN
SCALE: 1"=10'

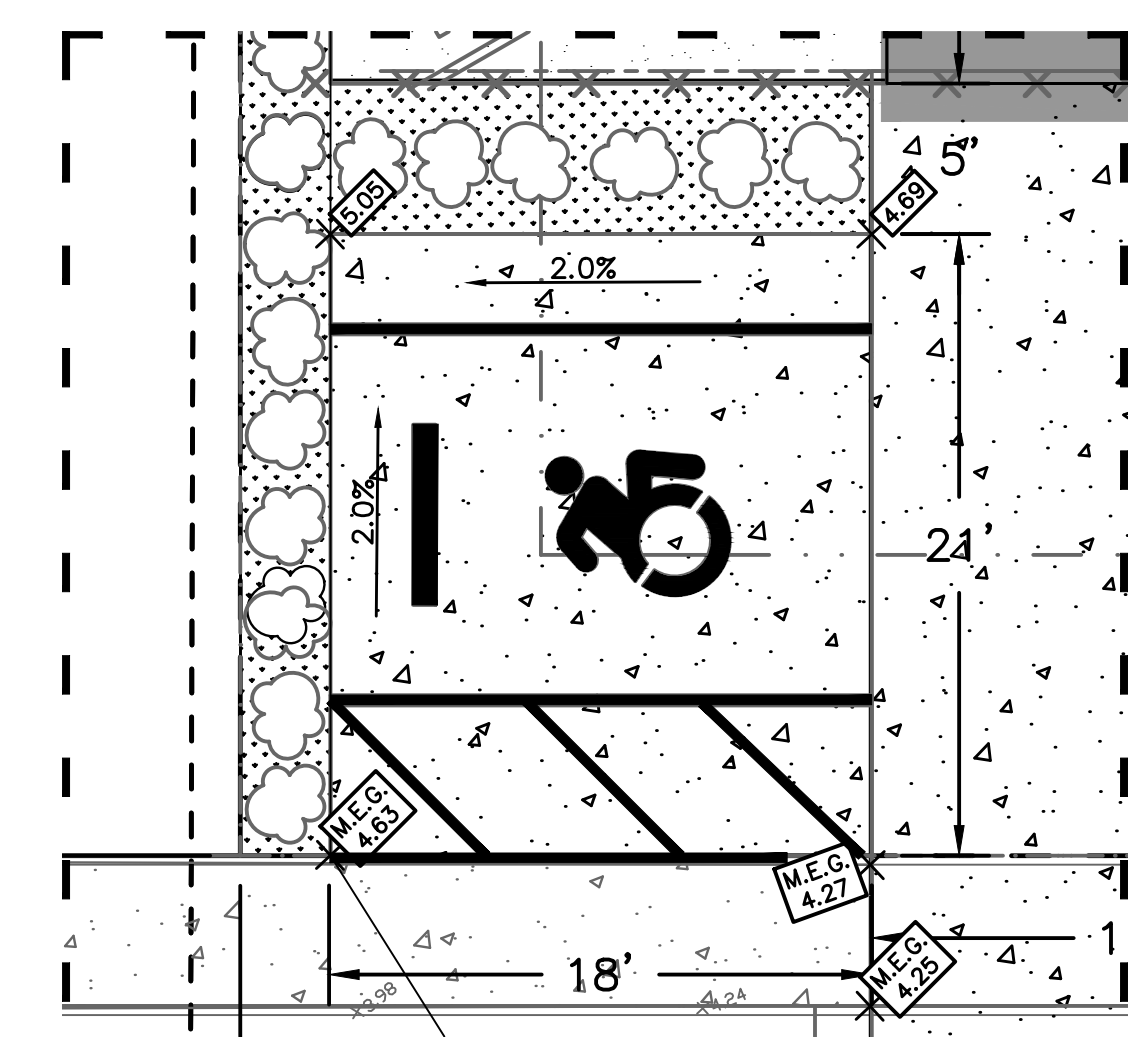


PROPOSED GRADING AND PAVEMENT SCOPE OF WORK:

1. INSTALL APPROX. 2,080 SF OF ASPHALT AS SHOWN ON PLANS.
2. INSTALL APPROX. 1,735 SF OF PERMEABLE ASPHALT AS SHOWN ON PLANS.
3. INSTALL APPROX. 4,445 SF OF CONCRETE AS SHOWN ON PLANS.
4. INSTALL APPROX. 1,380 SF OF GRASS/SOD AS SHOWN ON PLANS.

GRADING AND PAVING NOTES:

1. ALL EXISTING INFORMATION SHOWN IS BASED ON SURVEY DATA PROVIDED BY LONGITUDE SURVEYORS DATED 04/30/2025, UNLESS OTHERWISE NOTED.
2. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
3. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH FDOT SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
5. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE NOTED.
6. ELEVATION SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
7. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
8. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE PLANS FOR PLANTING AREAS AND RELATED REQUIREMENTS.



ADA PARKING DETAIL
SCALE: N.T.S

DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING

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THE PROJECT WILL FALL SOLELY UPON THE
USER.

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

MARK	DATE	DESCRIPTION

**PRELIMINARY PLAN
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DESIGNED BY: D. PACHECO	DRAWN BY: A. DURAN	CHECKED BY: K. PACHECO	REVIEWED BY: K. PACHECO
PROJECT No: FTLD2502	DATE: JULY 2025	SCALE: AS SHOWN	

**City of Fort
Lauderdale -
Station #88**

DCP-P12328 TASK 2

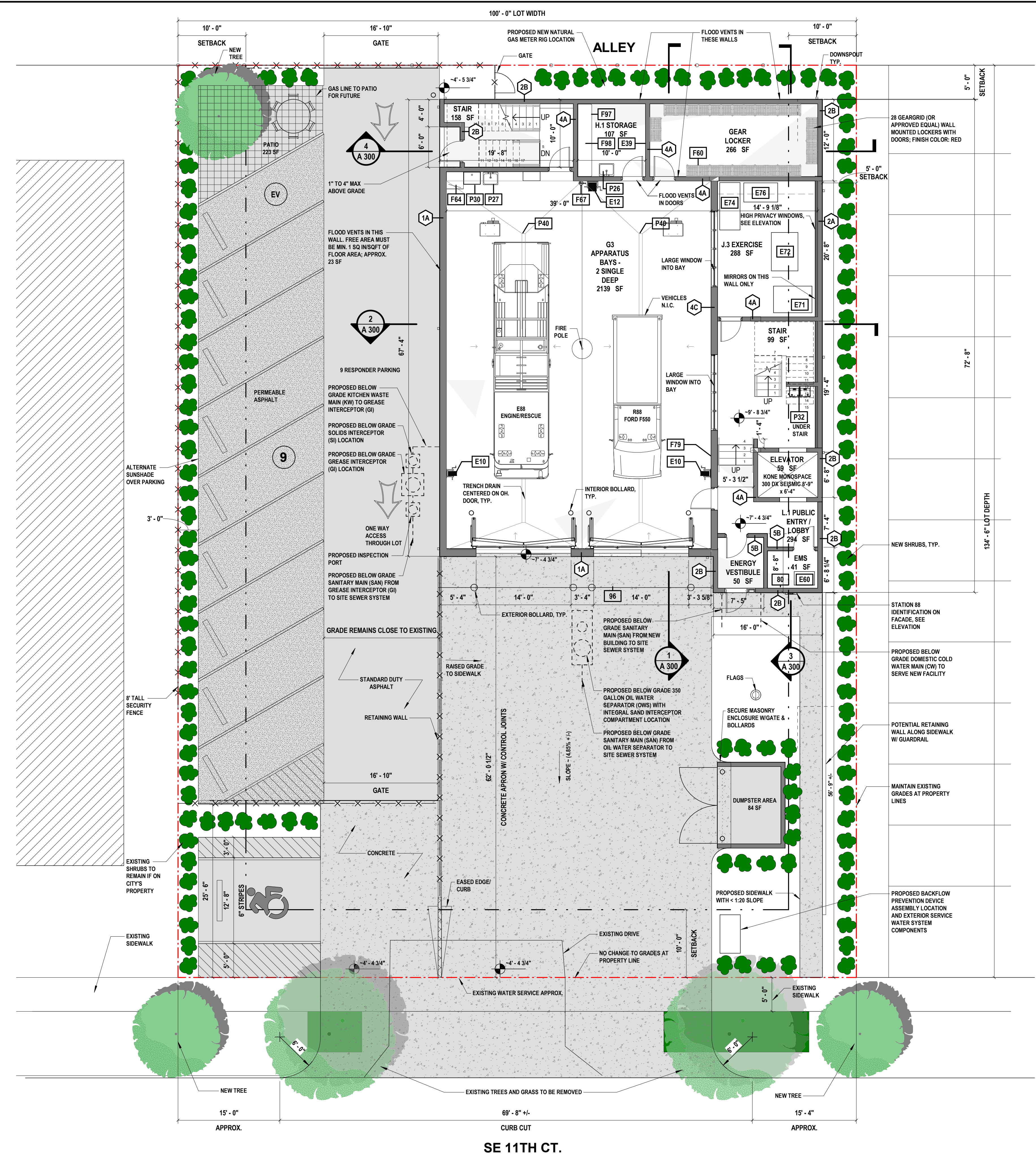
507 SE 11th Ct.
FORT LAUDERDALE, FL 33316

CONTRACT
**NO CONSTRUCTION CONTRACT
AT THIS TIME**

STATUS
**DRC SUBMITTAL - PRELIMINARY
NOT FOR CONSTRUCTION OR BIDDING**

SHEET TITLE
SCHEMATIC PLAN - FIRST FLOOR

DRAWING No.
A 101.00



BUILDING AREAS:

FIRST FLOOR/ FOOTPRINT:	3,897 SQFT
SECOND FLOOR:	3,897 SQFT
TOTAL GROSS FIRST AND SECOND FLOOR AREA:	7,794 SQFT
PENTHOUSE/ EQUIPMENT PLATFORMS:	1,220 SQFT
TOTAL BUILDING AREA:	9,014 SQFT

KEYNOTE LEGEND

Key Value	Keynote Text
80	WIRE RACK
96	5' CONCRETE APRON, STRUCTURAL
E10	HOSE REEL - 50'
E12	HOSE REEL - 100'
E39	COMPRESSED AIR CONNECTION
E60	ICE MACHINE
E71	BENCH PRESS
E72	UNIVERSAL
E74	TREADMILL
E76	ELLIPTICAL
F60	GEAR LOCKER
F64	FLAMMABLE STORAGE CABINET
F67	FIRE EXTINGUISHER - SURFACE MOUNTED
F79	BAY DOOR CONTROLS
F97	WORKBENCH
F98	TOOL CHEST
P26	SCULLERY SINK - 4 BOWL
P27	SERVICE SINK
P30	MOP SERVICE BASIN
P32	WATER FOUNTAIN - BOTTLE FILLER
P40	TRENCH DRAIN

1 SCHEMATIC PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

PROJECT NORTH
REFERENCE ELEVATION:
FIRST FLOOR 0'-0" = 7' 4 3/4" PER SURVEY



PROJECT PERMIT APPLICATION NARRATIVE

CITY OF FORT LAUDERDALE, FLORIDA

Project #P12328, Task Order #1 - Design Criteria Package – Emergency Medical Station #88

Schematic Design Project Narrative for
Station #88 – 507 SE 11th Ct., Fort Lauderdale, FL 33304

December 5, 2025

Per UDLR Section 47-18.26 for Public Purpose Uses, the following description is provided:

A new emergency medical station shall be constructed on a vacant parcel following site preparation. The proposed layout as shown in DCP documentation places the building closer to the NE corner of the parcel, at 5 feet from the northern boundary and 5 feet from the eastern boundary. This allows the placement of parking and other site amenities (generator, dumpster, parking, secure yard, accessible public path) for best operational efficiency of the Fire Department.

This new essential facility will allow the Fire Department to provide services near an underserved region of the City. The proposed station design provides for protection from ocean inundation during extreme weather events, protecting the lives of responders, the City's property and continuity of operations needed during such emergencies as frequently occur in a High Velocity Hurricane Zone. There is no change in size proposed for the parcel. However, the restricted size of the parcel causes the placement and number of off-street parking spaces to be limited to 9, which is fewer than the minimum required for the fire station per City contract (2x number of sleeping accommodations). Operational requirements dictate size of facility; FEMA standards dictate placement and grading of the building footprint and therefore circulation; thus parking on site per regulations is unable to achieve the local requirement. One of these parking spots is accessible per Florida Building Code.

The redevelopment of this parcel establishes a new permitted use. Proposed site layout and amenities strive to: (a) make no change to the economic community; (b) reduce the environmental impact of operations on the existing land by incorporating such features as stormwater retention and capture on site; (c) and improve the response capabilities of the Fire & Rescue Department. Establishment of Station #88 on another site would be economically infeasible and would likely require a host of additional approval hurdles.

Zone Requirements: District RAC-RPO dimensional requirements per Sec. 47-13.30

- Max. FAR: none
 - Paved Area: Concrete 4,445 SF; Permeable Asphalt 1,735 SF; Asphalt 2,080 SF; Bldg. Footprint 3,897 SF = FAR
- Max. Height: 110' Provided: Approx. 54' above lowest grade on site
- Setbacks: at East and North boundaries.
 - Side Yard Requirement: 10' min. provided: 5'
 - Rear Yard Requirement: 10' min. provided: 5'

Project General Overview: Note that this information is included within the DCP in expanded form.

The project is located in BROWARD COUNTY and is a **Risk Category IV Essential Facility** under the Florida Building Code (FBC). It is located in the High Velocity Hurricane Zone (HVHZ). As such, systems

must meet the FBC/Miami-Dade performance requirements for the HVHZ and also the additional requirements of Broward County Amendments to the FBC located at (<https://www.broward.org/CodeAppeals/Documents/Broward%20County,%20FL%20Building%20Code%20Repub.pdf>). This includes local Notice of Approval (NOA) for Risk Category IV for the following systems: Panel Walls, Exterior Doors, Roofing Products, Skylights, Windows, Shutters, and Structural Components.

The FEMA Flood Insurance Rate Map (FIRM) number 12011C0388J indicates that the Project is located in Flood Zone AE with a Base Flood Elevation (BFE) of 6.40-ft NAVD 88. In accordance with the City of Fort Lauderdale Floodplain Management Ordinance and applicable FEMA regulations, the minimum finished floor elevation shall be established at the BFE plus a freeboard of 1.00-ft for storage and garage areas, resulting in a minimum finished floor elevation of 7.40-ft NAVD 88. The Exercise Room and bottom of front staircase are at 9.7' (BFE +3.30'+) to be higher for occupied spaces and the landing for the elevator above flood; therefore, flood vents WILL be required for this building.

- The project consists of a new approximately 9,020 sq. ft. fire station and related site work. It is a two-story facility with a penthouse equipment level below the second floor, as well as mechanical space on the roof. The building footprint is approximately 3,900 sq. ft.
- Construction type is 2B non-combustible, mixed use, non-separated.
- The station will be fully sprinklered.
- The Project shall assume to have an October 2026 construction start.
- The project is not required to be LEED certified. The DCP emphasizes energy efficiency and resiliency.
- All FF&E to be included. Commercial kitchen equipment is keynoted in plan.
- Technology components (such as card readers, security cameras, internal and external communications systems, etc.) are included in contract. The CITY will have vendors under separate contract with whom coordination must be continuous throughout the Contract Time.

General Site Notes:

- Grade at the building will be raised approximately 3 feet above the existing grade to elevate above the BFE.
- Site Demolition (limited) is included in scope. There are no existing buildings on site.
- Sitework includes but is not limited to: site preparation, curbs, paving, sidewalks, utilities, striping, landscaping, flagpole, plantings, demo of existing fence, infiltration on site, work on the local road (SE 11th Ct.) and storm water mitigation in road.
- Infiltration storm system is on site.
- Main vehicle response apron and driveway are heavy duty concrete. Exterior bollards are planned at station bay doors and other building elements for protection of operations as well as protecting the dumpster.
- Parking area is normal duty **permeable asphalt** paving.

- Parking area and site will have 8-foot spiked aluminum fence.
- Parking area will have 8' high motorized sliding heavy duty access control gate.
- All parking lot lighting will be mounted on the building.
- Site has the following utilities available: Electric, Water, Gas, Storm, and Sanitary Sewer.
- Note retaining walls indicated on site plans and that building foundation walls will act as retaining walls.
- Lightning protection shall be provided on building.
- Erosion and sediment control (silt fence) and one (1) stabilized construction entrance will be provided during construction. Security fence during construction is required.

Station #88 is designed to fit within the residential and small commercial use neighborhood and in anticipation of future development. Station to be a resource for the community. Must be hurricane resilient and operationally correct. Unique challenges: small site size; approach and departure angles; grade changes across site; and elevation above sea level.

HVAC challenges: high priority to 'get it right' in design of new stations, with moisture intrusion properly controlled. Salt-water-laden air (salt fog) is a particular issue for conditioning spaces when considering open bay doors, vestibules and transition spaces to outside for exercise rooms. Temperature controls should allow for cool settings within the station and individual control at private spaces. Lessons learned by DCP designers and Fire-Rescue team shall inform DBF design efforts. Lessons learned V/E: if not making the budget, must look closely at project with careful consideration before making decisions.



architects + engineers

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Traffic Statement for:
Fort Lauderdale Emergency Medical Station 88
507 SE 11th Ct.
Fort Lauderdale, FL 33311

Based on the current and anticipated need for Emergency Medical services in this region of the City of Fort Lauderdale, the City is preparing to control traffic with a wireless preemption system (Opticom) which would help traffic clear at nearby major intersection of US Federal Highway 1 and Davie Boulevard in the southbound direction. This wireless solution allows construction of the station and operation without the digging and construction off-site of a wired solution. No significant traffic impacts are anticipated as there are only two response vehicles planned for this station. Coordination with FDOT will be part of the Design-Build Firm's responsibilities as this project moves forward into the next phases of design and construction.

Katrina Pacheco, AIA
Design Criteria Package Designer for
H2M Architects & Engineers, Inc.

JANUARY 2026

**PRELIMINARY STORMWATER
CALCULATIONS FOR:**

**EMERGENCY MEDICAL STATION #88
507 SOUTHEAST 11TH COURT
FORT LAUDERDALE, FL 33316**



880 SW 145th Avenue, Suite 106
Pembroke Pines, FL 33027

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APPENDICES

APPENDIX A – PRELIMINARY STORMWATER CALCULATIONS

1.0 PROJECT OVERVIEW AND DRAINAGE OBJECTIVES

This preliminary drainage report documents the hydrologic and hydraulic analysis performed to evaluate stormwater management for the proposed redevelopment project for Emergency Medical Station #88 located in Fort Lauderdale, Florida.

The analysis has been developed to demonstrate compliance with City of Fort Lauderdale and South Florida Water Management District (SFWMD) drainage criteria using a combination of surface storage, exfiltration trench storage and discharge, and drainage well discharge.

The drainage system is evaluated under multiple design conditions to ensure the site functions acceptably during both extreme and more frequent storm events.

1.1 Design Objectives

The following performance criteria govern the drainage system design:

- **100-Year Storm Event**
 - Maximum allowable surface ponding depth: 6 inches
 - Surface and subsurface storage may be utilized concurrently
- **10-Year Storm Event**
 - No surface ponding permitted
 - Peak inflow must be fully conveyed by the drainage system
- **Water Quality Treatment**
 - Stormwater discharge is to a Water Nature Area System (WNAS)
 - Required treatment rate and volume will be evaluated separately and incorporated at a later stage

The drainage system is therefore designed to simultaneously satisfy flood protection, operational performance, and water quality requirements.

2.0 RAINFALL CHARACTERIZATION AND TEMPORAL DISTRIBUTION

Stormwater inflow to the site was evaluated using rainfall depths and temporal distributions appropriate for South Florida conditions and consistent with regulatory guidance.

2.1 Long-Duration Storm Events (25-Year and 100-Year)

The 25-year and 100-year storm events were evaluated using the SFWMD 72-hour temporal distribution, which is specifically developed for long-duration, high-volume storm events in South Florida.

The analysis procedure for these storms consisted of:

1. Selection of total rainfall depth for the project location
2. Application of the SFWMD temporal distribution to the total rainfall
3. Development of incremental rainfall depths over time
4. Identification of peak rainfall intensity from the distribution

The NRCS Type II distribution was **not used** for these storm events, as it is not applicable to 72-hour storm durations.

2.2 Short-Duration Storm Events (5-Year and 10-Year)

The 5-year and 10-year storm events were evaluated using the NRCS Type II dimensionless rainfall distribution, which is appropriate for shorter-duration, convective storm events.

The analysis consisted of:

1. Selection of total rainfall depth
2. Application of the NRCS Type II dimensionless curve
3. Development of a temporal rainfall distribution
4. Determination of peak rainfall intensity

The NRCS Type II distribution was used exclusively for the 5-year and 10-year storm events and was not applied to the long-duration storms.

3.0 SITE CHARACTERISTICS AND HYDROLOGIC INPUTS

3.1 Site Location and Regulatory Basis

- **Location:**
 - 507 Southeast 11th Court, Fort Lauderdale, Broward County, Florida
- **Governing criteria:**
 - City of Fort Lauderdale Drainage Criteria
 - Broward County Surface Water Management Regulations
 - South Florida Water Management District (SFWMD) ERP criteria

3.2 Drainage Area and Land Use

The total contributing drainage area is **0.308 acres**, consisting of the following land uses:

- Roof Area: **0.089 acres**
- Asphalt / Parking Area: **0.172 acres**
- Landscape Area: **0.047 acres**

3.3 Hydrologic Constants and Assumptions

The following constants were used consistently throughout the analysis:

- Soil Hydraulic Conductivity (K): **1.71×10^{-4} cfs/sq-ft per ft head**
- FEMA Base Flood Elevation: **+6.00 ft NAVD 88**
- Broward County Flood Criteria: **+8.00 ft NAVD 88**
- Design Groundwater Elevation (Future Conditions): **+3.0 ft NAVD 88**
- Maximum Allowable Surface Ponding Depth (100-yr): **0.50 ft (6 inches)**
- Allowable Ponding for 10-yr Storm: **0.00 ft**
- Aggregate Void Ratio (Exfiltration Trench): **0.40**
- Conversion Factors:
 - 1 acre = 43,560 sq ft
 - 1 cfs = 448.8 gpm

3.4 Drainage Infrastructure Assumptions

- Drainage Well Performance: **120 gpm per foot of available head**
- Exfiltration Trench:

5.0 RUNOFF VOLUME CALCULATION

Runoff volume was calculated using the NRCS Curve Number methodology.

4.1 Weighted Curve Number

A weighted Curve Number was calculated based on the proportional area of each land use:

$$CN_w = \frac{\sum(CN_i \times A_i)}{\sum A_i}$$

4.2 Runoff Depth

Runoff depth was calculated using the standard NRCS runoff equation:

$$Q = \frac{(P - 0.2S)^2}{(P + 0.8S)}$$

where:

- (P) = total rainfall depth (inches)
- $S = \frac{1000}{CN_w} - 10$

4.3 Runoff Volume

Runoff volume was calculated as:

$$V = Q \times A \times 43,560$$

Runoff volumes were computed for the 100-year and 10-year storm events.

6.0 PEAK INFLOW DETERMINATION

Peak inflow rates were determined from storm-specific temporal distributions rather than from simplified rational method calculations.

6.1 Hydrograph Development

For each storm event:

1. Incremental rainfall depths were applied to the site drainage area
2. Losses were accounted for using NRCS abstractions
3. Runoff was accumulated over time to form an inflow hydrograph

6.2 Peak Inflow Identification

The peak inflow rate for each storm event was identified directly from the hydrograph. These values represent the maximum rate the drainage system must accommodate.

Hand calculations are included for transparency but are not used to override hydrograph-derived peak inflow rates.

7.0 SURFACE STORAGE ANALYSIS

7.1 Maximum Allowable Ponding

The maximum allowable surface ponding depth for the 100-year storm event is:

- 0.50 ft (6 inches)

This depth represents the regulatory upper limit and is not assumed to occur uniformly across the site.

Surface ponding is not permitted for the 10-year storm event.

7.2 Effective Average Ponding Depth

Due to non-uniform grading across the site, ponding initiates at local low points and progressively spreads toward higher elevations. As a result, the *average* depth of ponding across the available surface area is less than the maximum allowable depth.

In the absence of a detailed stage-storage curve, the effective average ponding depth is conservatively estimated assuming a linear (triangular) depth distribution:

$$d_{avg} = \frac{d_{max}}{2}$$

Where:

- $d_{max} = 0.50$ ft

$$d_{avg} = \frac{0.50}{2} = 0.25 \text{ ft}$$

This assumption reflects progressive inundation and is commonly accepted for paved redevelopment sites with mild slopes.

7.3 Available Ponding Area

The area available for surface ponding consists of paved parking and hardscape areas that are not required to remain dry during the 100-year storm event.

Let:

- A_p = available surface ponding area (square feet)

This area is assumed to be hydraulically connected and capable of storing water up to the allowable depth.

7.4 Surface Storage Volume

Surface storage volume is calculated as:

$$V_s = A_p \times d_{avg}$$

Where:

- V_s = surface storage volume (cubic feet)
- A_p = ponding area (square feet)
- d_{avg} = effective average ponding depth (feet)

Surface storage volume is credited only for the 100-year storm event and is excluded from the 10-year storm evaluation.

8.0 DRAINAGE WELL DISCHARGE CAPACITY

8.1 Drainage Well Performance Assumption

Drainage well performance is based on an assumed capacity of:

- **120 gallons per minute per foot of hydraulic head**

This value is consistent with commonly accepted drainage well performance assumptions in Broward County and is subject to confirmation during final design.

8.2 Available Hydraulic Head

The effective hydraulic head acting on the drainage well is assumed as:

- Average site grade above groundwater: **5.06 ft**
- Broward County 2070 Future Conditions Average Wet Season Water Table: **+3.0 ft**
- Additional surface ponding head (100-year event): up to **0.5 ft**

The available head for the well is:

$$H = 5.06ft - 3.0ft = 2.06ft$$

8.3 Drainage Well Discharge Rate

Drainage well discharge rate is calculated as:

$$Q_{well} = 120 \times H$$

$$Q_{well} = 120 \times 2.06 = 247.2 \text{ gpm}$$

Converted to cubic feet per second:

$$Q_{well} = \frac{247.2}{448.8} = 0.551 \text{ cfs}$$

8.4 Drainage Well Volume Over 100-Year Storm

Assuming continuous operation over the 72-hour storm duration:

$$V_{well} = Q_{well} \times 72 \times 3600$$

$$V_{well} = 0.551 \times 259,200 = 147,767.91 \text{ cu ft}$$

This confirms that the drainage well provides sufficient total volume removal, while surface and subsurface storage are required to manage short-duration peak inflows.

9. EXFILTRATION TRENCH ANALYSIS

9.1 Trench Geometry and Storage

The exfiltration trench length that will be provided will be:

- Trench length: **140 ft**

The exfiltration trench is evaluated using the following parameters:

- Trench width: **11 ft**
- Trench depth: **5 ft (limited by groundwater)**
- Aggregate void ratio: **0.40**
- Design groundwater elevation (future conditions): **+2.5 ft**

Effective storage per linear foot of trench:

$$V_{lf} = \text{Width} \times \text{Depth} \times \text{Void Ratio}$$

$$V_{lf} = 11 \times 5 \times 0.40 = 22 \text{ cu ft/LF}$$

9.2 Exfiltration Storage Volume

For a trench length L :

$$V_{trench} = 22 \times L$$

This relationship is used to size and optimize trench length based on required subsurface storage.

9.3 Exfiltration Discharge (Darcy Flow)

Exfiltration discharge is calculated using Darcy's Law:

$$Q_{exf} = K \times i \times A$$

$$Q_{exf} = 1.71E-04 \times 0.375 \times 557.36 = 0.037 \text{ CFS}$$

Where:

- $K = 0.000171 \text{ ft/hr}$ (soil hydraulic conductivity)
- $i = \frac{H}{L_{flow}} = \frac{5.06-3.00}{5.5} = 0.375$ (hydraulic gradient)
- $A =$ effective wetted area of trench bottom and sidewalls $= 2.062 \times 2 = 4.124 \text{ sf/lf} \times 140 \text{ ft} = 557.36 \text{ sf}$

Hydraulic head H includes:

- Stored water depth within the trench
- Surface ponding head during peak storm conditions

The exfiltration trench therefore contributes active discharge during peak inflow periods, reducing reliance on surface storage alone.

10. SYSTEM PERFORMANCE EVALUATION

10.1 Peak Routing and Design Basis

Peak routing calculations were performed for multiple regulatory stormwater scenarios to evaluate the controlling design condition for the proposed drainage infrastructure.

The following peak inflow rates were determined for the site:

- 100-year, 72-hour storm: **0.139 cfs**
- 10-year, 72-hour storm: **0.586 cfs**
- Water Quality rate to be treated: **0.916 cfs**

For the 100-year, 72-hours storm evaluation, since the water quality rate to be treated is the highest compared to the 100-year storm event flow, it was used as the governing design flow to size the drainage infrastructure. By sizing the system to accommodate the water quality flow of 0.916 cfs, the system inherently provides sufficient capacity to peak inflow for the 100-year storm and meet the water quality treatment requirement.

The 10-year, 72-hour storm is evaluated separately to demonstrate compliance with no-flooding criteria, including allowable surface ponding and storage using the exfiltration trenches. The proposed system is designed to satisfy the hydraulic requirements of the 10-year storm while also meeting water quality treatment and 100-year storm volume management criteria.

10.2 100-Year Storm Event

For the 100-year storm event:

- Peak inflow rate is compared to combined discharge capacity:
 - Drainage well discharge
 - Exfiltration Trench discharge
- Excess inflow during peak periods is temporarily stored in
 - Surface ponding
 - Exfiltration trench void space
- Maximum surface ponding is verified to remain \leq **0.50 ft**

The required storage for a 100-year storm event is:

- Drainage well discharge = 0.552 cfs
- Exfiltration trench discharge = 0.037 cfs
- Total Outflow = 0.589 cfs
- Excess Flow = 0.916 CFS – 0.589 CFS = 0.327 cfs
 - Water Quality Rate to be Treated is the governing flow as explain in section 10.1
- Peak Duration = 1 hour or 3600 seconds
- **Required Storage = 0.327 CFS x 3600 seconds = 1,177.90 cu ft**
- Surface storage = 2,384.91 cu ft
- Exfiltration trench storage = 2,240 cu ft
- **Total Storage = 4,624.91 CF (sufficient storage capacity)**
 - Storage Margin = 4,624.91 – 1,177.90 = 3,447.01 cu ft

10.3 10-Year Storm Event

For the 10-year storm event:

- Combined discharge capacity exceeds peak inflow
- No surface ponding is required or permitted
- System operates entirely as a conveyance and infiltration system

The requires storage to stay dry in a 10-year storm event is:

- Peak 10-year, 24-hour storm flow = 0.586 cfs
- Required Storage = 0.586 cfs * 3600 Seconds = 2,109.6 cu ft
- **Exfiltration Trench Storage = 2,240 CF (sufficient storage capacity)**
 - Storage Margin = 2,240 – 2,109.6 = 130.4 cu ft

11. CONCLUSION

The proposed drainage system, consisting of surface storage, exfiltration trench storage and discharge, and drainage well discharge, provides adequate performance to:

- Retain the 100-year storm event with surface ponding limited to 6 inches
- Convey the 10-year storm event with zero surface ponding
- Accommodate future water quality treatment requirements

The system configuration may be further optimized by adjusting exfiltration trench length based on final storage and discharge requirements.

APPENDIX A PRELIMINARY STORMWATER CALCULATIONS

Water Quality Calculations - Proposed

City of Fort Lauderdale Emergency Medical Station #88 DCP

I. LAND USE:

1	Building	0.089 ac.	28.93%
2	Garages	0.000 ac.	0.00%
3	Asphalt / Sidewalk / Other Imp.	0.172 ac.	55.79%
4	Lake Surface	0.000 ac.	0.00%
5	Lake Banks	0.000 ac.	0.00%
6	Dry Detention Bottom	0.000 ac.	0.00%
7	Dry Detention Banks	0.000 ac.	0.00%
8	Landscaping	0.047 ac.	15.29%
Total =		0.309 ac.	100%

Total overall impervious surface with building = 84.71%

Is the site within a basin discharging to WNAS? Yes

II. WATER QUALITY CRITERIA:

Quality standards shall be provided during a 25 year, 72 hour storm event for one of the following three combinations:

1. If a wet detention system, then whichever is the greater of the following:
 - a. The first inch of runoff from the entire project site.
 - b. The amount of 2.5 inches times the percent impervious for the project site.
2. Exfiltration trench requires the volume required for the wet detention system.
3. If the site is within a basin that discharges to an Impaired Water Body (Waters Not Attaining Standards - WNAS), must provide an additional 50% of Required Water Quality Volume as reasonable assurance to not impact water quality.

III. WATER QUALITY COMPUTATIONS:

1. Compute the first inch of runoff from the entire developed project site:

$$= 1.00 \text{ inch} \times 0.31 \text{ acres} \times (1 \text{ foot} / 12 \text{ inches})$$

$$= \underline{\underline{0.026 \text{ ac-ft for the first inch of runoff}}}$$
2. Compute 2.5 inches times the percent impervious for the developed project site:
 - a. Site area for water quality pervious / impervious calculations only:

$$= \text{Total Project} - (\text{Lake Area} + \text{Buildings})$$

$$= 0.31 \text{ acres} - (0.00 \text{ acres} + 0.09 \text{ acres})$$

$$= \underline{\underline{0.22 \text{ acres of site area for water quality calculations}}}$$
 - b. Impervious area for water quality pervious / impervious calculations only:

$$= \text{Site area for water quality} - \text{Pervious area}$$

$$= 0.22 \text{ acres} - 0.05 \text{ acres}$$

$$= \underline{\underline{0.17 \text{ acres of impervious area for water quality calculations}}}$$
 - c. Percentage of impervious area for water quality:

$$= \text{Impervious area for water quality} / \text{Site area for water quality} \times 100\%$$

$$= 0.17 \text{ acres} / 0.219 \text{ acres} \times 100\%$$

$$= \underline{\underline{78.49 \% \text{ Impervious}}}$$
 - d. For 2.5 inches times the percentage of impervious area:

$$= 2.5 \text{ inches} \times 78.49 \%$$

$$= \underline{\underline{1.96 \text{ inches to be treated}}}$$
 - e. Compute volume required for quality detention:

$$= \text{Inches to be treated} \times (\text{Total Site Area} - \text{Lake Area})$$

$$= 1.96 \text{ inches} \times (0.31 \text{ acres} - 0.000 \text{ acres}) \times (1 \text{ foot} / 12 \text{ inches})$$

$$= \underline{\underline{0.05 \text{ ac-ft required for detention storage}}}$$
3. The first inch of runoff from the entire developed site = 0.026 ac-ft
 2.5 inches times the percentage of impervious area = 0.050 ac-ft

 Additional 50% if within WNAS (0.000 ac-ft if not within WNAS) = 0.025 ac-ft

WQ volume of 0.076 ac-ft required

Converted into CFS, and discharging over a time period of 1 hour

WQ volume of 0.916 CFS required

Site Description	Value	Units	Notes
Total Site Area	0.308	ac	
Total Site Area	13416.48	sf	
Design Storm	100-yr / 72-hr	—	
Rainfall Depth 100 year storm 72 hour	17.9	in	SFWMD Temporal
Max Ponding Depth	0.5	ft	
Avg Ponding Factor	0.5	—	
Effective Ponding Depth	0.25	ft	
Peak Inflow Rate*	0.138978583	CFS	*100-year storm
Peak Duration Above Capacity	6	hr	
Peak Duration	21600	sec	
Rainfall depth 25-year, 72-hour storm	14.5		SFWMD Temporal
Rainfall depth 5-year, 24-hour storm	7.37		Type II NRCS
Rainfall depth 10-year, 24-hour storm	8.5		Type II NRCS
Peak Duration 5-year, 24-hour storm	1	hr	
Peak Duration 5 year conversion	3600		
Peak Inflow Rate 10-year, 24-hour storm	0.5860393	CFS	

Proposed Land Use Description	Area (ac)	Area (sqft)
Roof	0.089	3876.84
Asphalt	0.172	7492.32
Landscaping	0.047	2047.32
Total	0.308	13416.48
Description	Value	Units
Average Finished Grade	5.06220699	ft
Future Ground Water elevation	3	ft
Static Head	2.06220699	ft

Runoff Volume

Surface	CN	Area (sf)	Weighted CN
Roof	98	3876.84	379930.32
Asphalt	98	7492.32	734247.36
Landscaping	74	2047.32	151501.68
Total	—	13416.48	1265679.36
Weighted CN	94		
AMC III	88		
Potential Retention S	1.37		
Initial Abstraction La	0.27		
Rainfall P	17.9		
Runoff Depth Q	16.36		
Runoff Volume (CF)	19948.79		

Surface Storage

Description	Value	Units
Ponding Area	9539.64	sf
Max Ponding Depth	0.5	ft
Effective Avg Depth	0.25	ft
Surface Storage	2384.91	cf

Drainage Well

Description	Value	Units
Well Rating	120	GPM/ft
Number of wells	1	
Available Head	2.062	ft
Flow (GPM)	247.46	GPM
Flow (CFS)	0.551785673	CFS

Exfiltration Trench

Description	Value	Units
Trench Length	140	LF
Trench Width	11	ft
Trench Depth	5	ft
Void Ratio	0.4	—
Gross Volume/LF	55	
Net Storage/LF	22	
Hydraulic Conductivity	1.71E-04	
Side Area/LF	10	
Bottom Area/LF	11	
Total Area/LF	21	
Effective Sidewall height	2.06220699	
Sidewall area per LF	4.124413981	
Total effective infiltration area	577.4179573	
Average horizontal path	5.5	
hydraulic gradient	0.374946726	
Exfiltration Discharge	0.037021666	CFS

Darcys Law

Peak Routing Calculations

Description	Value	Units
Peak Inflow 100 year storm 72	0.138978583	CFS
Peak 10 year storm 24 hour	0.5860393	CFS
Water Quality Rate to be treated	0.916	CFS
Well Discharge	0.551785673	CFS
Exfil Trench Discharge	0.037021666	CFS
Total Outflow	0.58880734	CFS
Excess Flow	0.32719266	CFS
Peak Duration	3600	seconds
Required Storage	1177.893577	CF
required storage to stay dry	2109.74148	
Surface Storage	2384.91	
Trench Storage	2240	
Total Storage	4624.91	
Storage Margin	3447.016423	
If dry in a 10 year storage from trench drain	2240	
	130.25852	



Exhibit E – Preliminary Stormwater Calculations

Land Use + Soil Storage Calculations

City of Fort Lauderdale Emergency Medical Station #88 DCP
 Project No: B24003.00

Designed by: DJM
 Checked by: -
 Date: 7/10/2025

Existing Land Use

Description	Sub-Area (ac)	Area (ac)
Impervious Area		0.004
Building	0.00	
Garages	0.00	
Asphalt / Sidewalk / Other Imp.	0.004	
Lake		0.000
Lake Surface	0.00	
Lake Banks	0.00	
Pervious Area		0.304
Dry Detention Bottom	0.00	
Dry Detention Banks	0.00	
Landscaping	0.304	
Total Area		0.309

Proposed Land Use

Description	Sub-Area (ac)	Area (ac)
Impervious Area		0.262
Building	0.089	
Garages	0.00	
Asphalt / Sidewalk / Other Imp.	0.172	
Lake		0.000
Lake Surface	0.00	
Lake Banks	0.00	
Pervious Area		0.047
Dry Detention Bottom	0.00	
Dry Detention Banks	0.00	
Landscaping	0.047	
Total Area		0.309

Soil Storage

	Existing	Proposed	DATUM
Wet Season Water Table / Control Elevation	0.300	0.30	NAVD 88
Soil Storage Capability (Coastal, Flatwoods, Depressional)	Coastal	Coastal	
Average Site Elevation (Landscaping)	4.05	5.15	NAVD 88
Average Depth to Water Table (Landscaping)	3.75	4.85	ft
Soil Storage Capability (Coastal, w/ 25% reduction)	4.95	8.18	in
Soil Storage (S) Over the Site (Landscaping)	4.88	1.25	in
Soil Storage (S) Over the Site (Entire Site)	4.88	1.25	in
Curve Number (CN) Based on Soil Storage (S)	67.2	88.9	



Water Quality Calculations - Proposed

City of Fort Lauderdale Emergency Medical Station #88 DCP
 Project No: B24003.00

Designed by: DJM
 Checked by: -
 Date: 7/10/2025

I. LAND USE:

1	Building	0.089 ac.	28.93%
2	Garages	0.000 ac.	0.00%
3	Asphalt / Sidewalk / Other Imp.	0.172 ac.	55.79%
4	Lake Surface	0.000 ac.	0.00%
5	Lake Banks	0.000 ac.	0.00%
6	Dry Detention Bottom	0.000 ac.	0.00%
7	Dry Detention Banks	0.000 ac.	0.00%
8	Landscaping	0.047 ac.	15.29%
Total =		0.309 ac.	100%

Total overall impervious surface with building = 84.71%

Is the site within a basin discharging to WNAS? Yes

II. WATER QUALITY CRITERIA:

Quality standards shall be provided during a 3 year, 1 hour storm event for one of the following three combinations:

1. If a wet detention system, then whichever is the greater of the following:
 - a. The first inch of runoff from the entire project site.
 - b. The amount of 2.5 inches times the percent impervious for the project site.
2. Exfiltration trench requires the volume required for the wet detention system.
3. If the site is within a basin that discharges to an Impaired Water Body (Waters Not Attaining Standards - WNAS), must provide an additional 50% of Required Water Quality Volume as reasonable assurance to not impact water quality.

III. WATER QUALITY COMPUTATIONS:

1. Compute the first inch of runoff from the entire developed project site:

$$= 1.00 \text{ inch} \times 0.31 \text{ acres} \times (1 \text{ foot} / 12 \text{ inches})$$

$$= \underline{0.026 \text{ ac-ft for the first inch of runoff}}$$
2. Compute 2.5 inches times the percent impervious for the developed project site:
 - a. Site area for water quality pervious / impervious calculations only:

$$= \text{Total Project} - (\text{Lake Area} + \text{Buildings})$$

$$= 0.31 \text{ acres} - (0.00 \text{ acres} + 0.09 \text{ acres})$$

$$= \underline{0.22 \text{ acres of site area for water quality calculations}}$$
 - b. Impervious area for water quality pervious / impervious calculations only:

$$= \text{Site area for water quality} - \text{Pervious area}$$

$$= 0.22 \text{ acres} - 0.05 \text{ acres}$$

$$= \underline{0.17 \text{ acres of impervious area for water quality calculations}}$$
 - c. Percentage of impervious area for water quality:

$$= \text{Impervious area for water quality} / \text{Site area for water quality} \times 100\%$$

$$= 0.17 \text{ acres} / 0.219 \text{ acres} \times 100\%$$

$$= \underline{78.49 \% \text{ Impervious}}$$
 - d. For 2.5 inches times the percentage of impervious area:

$$= 2.5 \text{ inches} \times 78.49 \%$$

$$= \underline{1.96 \text{ inches to be treated}}$$
 - e. Compute volume required for quality detention:

$$= \text{Inches to be treated} \times (\text{Total Site Area} - \text{Lake Area})$$

$$= 1.96 \text{ inches} \times (0.31 \text{ acres} - 0.000 \text{ acres}) \times (1 \text{ foot} / 12 \text{ inches})$$

$$= \underline{0.05 \text{ ac-ft required for detention storage}}$$
3. The first inch of runoff from the entire developed site = 0.026 ac-ft
 2.5 inches times the percentage of impervious area = 0.050 ac-ft
 Additional 50% if within WNAS (0.000 ac-ft if not within WNAS) = 0.025 ac-ft

WQ volume of 0.076 ac-ft required





Drainage Well Calculations - Proposed

City of Fort Lauderdale Emergency Medical Station #88 DCP
 Project No: B24003.00

Designed by: DJM
 Checked by: -
 Date: 7/10/2025

I. WATER QUALITY VOLUME UNIT CONVERSION

WQ volume of	0.076	ac-ft required
--------------	-------	----------------

Converted into CFS, and discharging over a time period of 1 hour

WQ volume of	0.916	CFS required
--------------	-------	--------------

II. DRAINAGE WELL CALCULATIONS:

1. Design Information:

Drainage Well Design Flow Capacity:	120 GPM/Feet of head
Top of Exfiltration Trench Pipe	1.80 NAVD 88
Wet Season Water Table / Control Elevation:	0.30 NAVD 88
Head:	1.50 Feet

2. Calculate Total Flow in GPM Total Flow = Drainage Well Capacity x Head (feet)

Total Flow:	180.00 GPM
-------------	------------

3. Convert GPM to Total Gallons Total Gallons = Total Flow x Time (minutes)

Time:	60.00 Minutes
Total Gallons:	10,800.00 Gallons

4. Convert Gallons to Acre-Feet Acre-Feet = Total Gallons / (325, 851 gal/ac-ft)

WQ Volume (in acre-feet)	0.033 ac-ft
--------------------------	-------------

WQ volume required to be treated	0.076	ac-ft required
WQ Volume to be treated by Drainage Well	0.033	ac-ft
WQ Volume to be treated by Exfiltration Trench	0.043	ac-ft



Exfiltration Trench Calculations - Proposed
 City of Fort Lauderdale Emergency Medical Station #88 DCP
 Project No: B24003.00

Designed by: DJM
 Checked by: -
 Date: 7/10/2025

EXFILTRATION TRENCH CALCULATIONS:

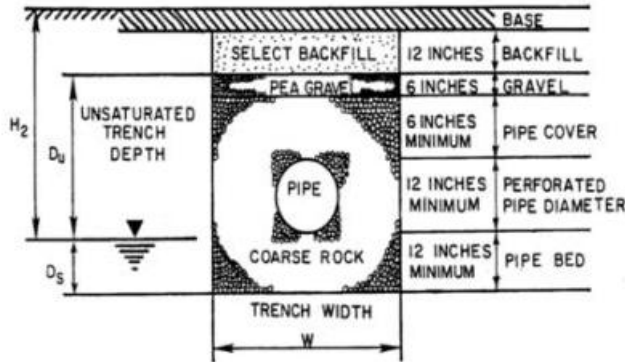
1. Design Formula: $L = 2 * (0.5 * V_{wq} + V_{add}) / (K((2 * H_2 * D_u) - (D_u^2) + (2 * H_2 * D_s)) + (1.39 * 10^{-4} * W * D_u))$
2. Design Information:

Weir Needed in ET System?	no	ft.		
Weir Elevation				
V_{wq} = Water Quality Vol. to be Exfiltrated:	0.51 ac-in	3.28"xSite =		0.08 ac-ft
V_{add} = Add. Storage Vol. in 1 hour (up to 3.28"xSite - V_{wq}):	0.50 ac-in			1.01 ac-in
W = Trench Width:	10.00 ft.			
K = Hydraulic Conductivity:	1.710E-04 cfs/sq-ft per ft head			
H ₂ = Depth of Water Table:	4.00 ft.			
D _u = Non-Saturated Trench Depth:	2.50 ft.			
D _s = Saturated Trench Depth:	1.00 ft.			
Total Trench Depth:	3.50 ft.			

3a. Exfiltration Trench Required (Quality): 71 ft.

4. Exfiltration Trench Provided: **129 ft.**
5. Storage Provided:

Exfiltration Trench Vol Provided (Quality):	0.043 ac-ft
Exfiltration Trench Vol Provided (Additional Storage):	#REF! ac-ft
Total Exfiltration Trench Vol Provided:	#REF! ac-ft



Thickness (in)	Elev (ft)	Description
6	4.30	Lowest Inlet
12		Asphalt + Base Thickness
		Select Backfill
6	2.80	Top of Trench (Top of Pea Gravel)
6		Pea Gravel
6		Pipe Cover (Min. 6")
	0.00	Weir Elevation (if applicable)
18	1.80	Inside Top of Pipe
		Pipe Size (Min. 12")
	0.30	Invert of Pipe
12		Pipe Bed (Min. 12")
	-0.70	Bottom of Trench
	0.30	Water Table / Control Water Elevation

From: [Katrina Pacheco](#)
To: [Karlanne Devonish](#)
Subject: [EXTERNAL:CAUTION!]- FW: City of Fort Lauderdale LauderBuild Application ENG-CR-26020003 Has Been Received
Date: Thursday, February 26, 2026 3:12:38 PM

[::CAUTION!:] This email originated from *outside* The City of Fort Lauderdale. Do Not Reply, click links, or open attachments from an unknown or suspicious origin. Confirm the email address is from an expected source before taking action. Report any suspicious emails to spamadmin@fortlauderdale.gov

Email as requested below for Station #88.

Katrina N. Pacheco, AIA, NCARB
Studio Director

H2M architects + engineers
433 River Street, Suite 8002, Troy, NY 12180
tel 518.765.5105 x2033 | mobile 518.944.5460 | fax 518.765.5107

From: City of Fort Lauderdale-No Reply <noreply@fortlauderdale.gov>
Sent: Thursday, February 19, 2026 1:06 PM
To: Katrina Pacheco <KPacheco@H2M.com>
Subject: City of Fort Lauderdale LauderBuild Application ENG-CR-26020003 Has Been Received

External Email! *Think before you click*



LauderBuild Application Received

The Development Services Department has received your application submittal for application record number **ENG-CR-26020003** at **507 SE 11 CT**. Please be aware that application review will not begin until plans and supporting documents have been submitted. Please [click here](#) to upload.

If you submitted physical documents at the Development Services Department for digitalization at the time you applied for this permit application, please note that you have seven (7) days to return to the Development Services Department office and claim your submitted documentation or it will be destroyed.

Please note that all document and information submittals after the initial permit application, including plan corrections and revisions, must be made via the

LauderBuild website. No further physical documents will be accepted after the creation of your application.

Please visit the tutorial linked here for help or feel free to contact us if you need additional assistance.

[Video Tutorial: Submitting Plans](#)

You may visit [LauderBuild](#) to review the processing status at any time by going to the **Record Details page** and selecting **Record Info > Processing Status** or **Plan Room > Summary**, if you are logged in to your account.

Thank you,
Development Services Department
700 NW 19th Avenue
Fort Lauderdale, FL 33311
Open 8 am to 3 pm
954-828-6520

Please be advised that the City of Fort Lauderdale does not send unsolicited correspondence requesting money or sensitive personal information. The Development Services Department does not accept any form of payment over the phone, and we will never resort to threats or intimidation. Additionally, no government agency will ever demand payment via gift cards, wire transfers, or digital currencies. The City of Fort Lauderdale will never contact you to request personal details such as bank account information, credit or debit card numbers, Social Security numbers, or passwords. Please exercise caution when opening unsolicited emails. Verify the sender's email address carefully and avoid clicking on suspicious links or opening attachments from unknown sources. If you receive any emails that appear to be sent on behalf of the City and seem suspicious, please report them to staff immediately.

CONFIDENTIALITY NOTICE: Thanking you in advance for your cooperation, the information contained in this message and any attachments is intended only for the use of the individual(s) named above. If the person actually receiving this email is not the named or intended recipient, any use, dissemination, distribution, or copying of this communication is prohibited. If you have received this communication in error, please immediately notify us by email that this message has been inadvertently transmitted to you and kindly delete this e-mail from your system. We appreciate your time and attention.

From: [Katrina Pacheco](#)
To: president@dfca.org
Cc: [Karlanne Devonish](#); [Ivey Kearson](#); ftld2502@project.h2m.com
Subject: [EXTERNAL:CAUTION!]- DRC Emergency Medical Station #88, 507 SE 11th Ct., UDP-S25058
Date: Tuesday, March 3, 2026 10:51:13 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

[::CAUTION!:] This email originated from *outside* The City of Fort Lauderdale. Do Not Reply, click links, or open attachments from an unknown or suspicious origin. Confirm the email address is from an expected source before taking action. Report any suspicious emails to spamadmin@fortlauderdale.gov

To Whom It May Concern:

This email serves to notice the Downtown Fort Lauderdale Civic Association of the upcoming Development Review Committee meeting for the following two projects to be held on this date:

Date: March 24, 2026

Time: 9:45am for Fire Station #13

10am for Fire Station #88

Place: Development Services Department

700 NW 19 Avenue

Fort Lauderdale, FL 33311

This neighborhood association is within 300 feet of this [highlighted] proposed project. We hope to see you there.

Sincerely,

Katrina N. Pacheco, AIA, NCARB
Studio Director

H2M architects + engineers

433 River Street, Suite 8002, Troy, NY 12180

tel 518.765.5105 x2033 | fax 518.765.5107

h2m.com



intended recipient, any use, dissemination, distribution, or copying of this communication is prohibited. If you have received this communication in error, please immediately notify us by email that this message has been inadvertently transmitted to you and kindly delete this e-mail from your system. We appreciate your time and attention.



February 9, 2026

Development Services Department
Urban Design & Planning Division
700 NW 19 Avenue
Fort Lauderdale, FL 33311

Re: Authorized Agent for City of Fort Lauderdale
PZB Site Plan Permit for P12328 Emergency Medical Station #88
507 SE 11 Court Fort Lauderdale, FL 33316

To whom it may concern:

This letter serves as notification to the City of Fort Lauderdale Development Services Department that Colette Satchell, Director of the Capital Projects Department, and the approved consultant, H2M Architects + Engineers, or the design build firm selected by the City, are authorized to act as agents of City of Fort Lauderdale for the processing and approval of the development permit application to the property referenced above.

Sincerely,

Rickelle Williams

Rickelle Williams
City Manager
City of Fort Lauderdale

Sworn to and subscribed before me, the undersigned Notary Public, this 9th day of

February, 2026

Notary Public

Gina Rizzuti-Smith
Printed Name



GINA RIZZUTI-SMITH
Commission # HH 607898
Expires October 29, 2028

Notary Public Commission expires:

c: Quentin Pough, Assistant City Manager
Colette Satchell, Director of Capital Projects
Kristin Thompson, Division Manager of Capital Projects

Office of the City Manager

101 NE 3rd Ave, Suite 2100
Fort Lauderdale, Florida 33301
Telephone (954) 828-5013, Fax (954) 828-5599
www.fortlauderdale.gov





February 27, 2026

Applicant

TIITF/DNR Div Rec & Parks; Hugh Taylor Birch
DEP Douglas Bldg
Tallahassee, Florida 32999
City of Fort Lauderdale
101 NE 3 Avenue, Suite 2100
Fort Lauderdale, FL 33301

Agents

Colette Satchell, Capital Projects Department,
City of Fort Lauderdale
csatchell@fortlauderdale.gov, 954-828-3134
Katrina Pachecho, H2M Architects + Engineers, Inc.
kpacheco@h2m.com, 518-600-9648

Dear Applicant:

This letter provides the status of the development application described below, which the City has been reviewed to determine whether the application is complete in accordance with Section 166.033(1), State Statute, as amended.

CASE	UDP-S25058	
PROJECT NAME	Fire Station #88	
APPLICATION TYPE	Site Plan Level IV	
APPROVAL LEVEL	City Commission	
REQUEST	Site Plan Level IV: Public Purpose Use to Construct a New Fire Station	
APPLICANT	City of Fort Lauderdale	
AGENT	Katrina Pachecho, H2M Architects + Engineers, Inc.	
PROPERTY ADDRESS	507 SE 11 Court	
ABBREVIATED LEGAL DESCRIPTION	Lauderdale 2-9 D Lot 19,20 Blk 4	
ZONING DISTRICT	Residential Office (RO) District	
LAND USE	South Regional Activity Center	
COMMISSION DISTRICT	4 – Ben Sorensen	
NEIGHBORHOOD ASSOCIATION	Downtown Fort Lauderdale Civic Association	
	DATE	DETERMINATION
SUBMITTED	December 26, 2025	Online Submittal Accepted
STATUS	February 27, 2026	COMPLETE
APPROVAL/DENIAL TIMEFRAME	August 26, 2026	180 DAYS
DRC MEETING DATE	March 24, 2026	
CASE PLANNER	Karlanne Devonish	

In accordance with Section 166.033(1), Florida Statutes, the City will approve, approve with conditions, or deny the application within 180 days of the date of this letter, **August 26, 2026**. The applicant may request a waiver to this timeline by completing the waiver sent via email.

A minimum of 21 days prior to the scheduled DRC or Administrative Review meeting, the applicant is required to provide a notice of the upcoming meeting to any official city-recognized civic association(s) within 300 feet of the project, notifying the date, time, and location of the DRC meeting. A minimum of 10 days prior to the DRC meeting, the applicant will then submit an affidavit documenting that notice was provided to the applicable civic associations.

If there are any questions regarding this notice, please contact the case planner at kdevonish@fortlauderdale.gov or 954-828- 6162.

Sincerely,

Karlanne Devonish, AICP, Principal Urban Planner
Urban Design and Planning Division



January 2, 2026

Applicant

TIITF/DNR Div Rec & Parks; Hugh Taylor Birch
DEP Douglas Bldg
Tallahassee, Florida 32999

Agent

Katrina Pachecho c/o H2M Architects & Engineers, Inc.
kpacheco@h2m.com , 518-600-9648

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ZONING DISTRICT	Residential Office (RO) District	
LAND USE	South Regional Activity Center	
COMMISSION DISTRICT	4 – Ben Sorensen	
NEIGHBORHOOD ASSOCIATION	Downtown Fort Lauderdale Civic Association	
	DATE	DETERMINATION
SUBMITTED	December 26, 2025	Online Submittal Accepted
STATUS	January 2, 2026	INCOMPLETE
ADDRESS DEFICIENCIES BY	February 1, 2026	30 Days
DEFICIENCIES	The following are missing: 1. Application. Signatures by Owner / Agent Letter 2. Agent Authorization Letter. 3. Address Verification. 4. Water and Wastewater Capacity Request. 5. Traffic Statement or Study. 6. Project Narratives.	
CASE PLANNER	Karlanne Devonish	

In accordance with Section 166.033(1), Florida Statutes, the applicant has 30 days to address the deficiencies in this letter or the City will deem the application withdrawn.

A minimum of 21 days prior to the scheduled DRC or Administrative Review meeting, the applicant is required to provide a notice of the upcoming meeting to any official city-recognized civic association(s) within 300 feet of the project, notifying the date, time, and location of the DRC meeting. A minimum of 10 days prior to the DRC meeting, the applicant will then submit an affidavit documenting that notice was provided to the applicable civic associations.

If there are any questions regarding this notice, please contact the case planner at kdevonish@fortlauderdale.gov or 954-828- 6162.

Sincerely,

Karlanne Devonish, AICP, Principal Urban Planner
Urban Design and Planning Division

